

# HISTORIC PRESERVATION COMMISSION MEETING AGENDA

Wednesday, September 13, 2023 at 6:00 PM

City Hall Council Chambers, 35 Cabarrus Avenue West

1. CALL TO ORDER - *Chair*
2. ORDER OF BUSINESS - *Chair (Ask Staff if there are any adjustments to agenda)*
3. INTRODUCTIONS - *Chair and Commissioners (give your name for the record)*
4. APPROVAL OF MINUTES - *Motion, second, and vote needed.*
5. SWEARING IN OF WITNESSES - *Chair*
6. OLD BUSINESS - *Chair*
7. NEW BUSINESS

## **H-15-23 (Quasi-Judicial Hearing-Continued)**

**Doobay Sangster** has submitted a Certificate of Appropriateness application for modifications including paving a driveway, replacing a walkway, installing a fence, and replacement of existing shed with a garage at 71 Franklin Ave NW. PIN 5620-78-2479.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

## **H-20-23 (Quasi-Judicial Hearing)**

**Blanca Lynch** has submitted an ex-post facto Certificate of Appropriateness application for the installation of a fence and gate at 43 Franklin Avenue NW. PIN 5620-78-5810.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

## **H-21-23 (Quasi-Judicial Hearing)**

**Chad Celetti** has submitted a Certificate of Appropriateness application for the removal of a large Water Oak tree in the front yard at 27 Yorktown Street NW. PIN 5620-77-8612.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*

- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed..*

STAFF UPDATES/DISCUSSIONS

- a. Handbook Updates
  - i. Discuss Committee's Progress
- b. CLG Training
- c. Examples of informing residents of Regulations and Standards from other Municipalities

8. ADJOURNMENT

***In accordance with ADA Regulations, please note that anyone who needs an accommodation to participate in the meeting should notify Planning & Neighborhood Development Department at 704/920-5152 at least twenty-four (24) hours prior to the meeting.***

**DATE:** September 13, 2023

**SUBJECT:**

Certificate of Appropriateness Request: H-20-23  
Applicants: Blanca Lynch & Kevin Murphy, Jr.  
Location of Subject Property: 43 Franklin Avenue NW  
PIN: 5620-78-5810  
Staff Report Prepared by: Kim Wallis, Senior Planner

**BACKGROUND**

- The subject property at 43 Franklin Avenue NW is designated as a “Contributing” structure in the North Union Street Historic District (ca. 1895) (Exhibit A).
- “One-story, frame house with high hip roof and façade composed of two projecting gables. Gables also project from both sides of house. All four gables have cut-out ventilators. House has full façade porch with turned posts and balustrade. Two tall interior chimneys provide four fireplaces for this center hall, double-pile house.” (Exhibit A).
- Applicants’ requested modification: “ex post facto” (after-the-fact) approval of the installation of a small section of fence and a driveway gate (Exhibit B).

**DISCUSSION**

On August 11, 2023 Blanca Lynch and Kevin Murphy applied for an “ex post facto” Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 requesting after-the-fact approval of the installation of wood fencing and a driveway gate (Exhibit B). The applicant states that the fence and gate are handmade and that their design plays off of the original Victorian era home with a slightly modern perspective while also allowing it to flow nicely.

- **Fence:**
  - The fence section is to the left side of the house, between the side window and the beginning of the driveway and is located behind a landscaping bed. It is a vertical post and slat system made of paint grade pressure treated pine wood and painted a cream color from Sherwin Williams’ exterior paint line, to match the trim color on the home. The fence section measures 50.75 inches wide and 6 feet tall with the fence slats 5.5 inches wide with 1.5 inch spacing between each slat (Exhibit D).
- **Driveway gate:**
  - The gate is to the left of the small fence section, spanning the width of the driveway and was designed with a French inspired curvature and a simplistic yet elegant slat system that is a mirror image when opening. The gate is made of paint grade pressure treated pine wood and painted a khaki green gray from Sherwin Williams’ exterior paint line, to match the house siding color. It measures a total of 91 inches (7 ½ feet) wide, and 61.25 inches (5.1 feet) tall at the lowest point, 66 inches (5½ feet ) tall at the highest point, has two (2) wheels installed on the bottom of either side of the gate to support the interior weight and a wrought iron driveway latch. (Exhibit D).
- **Fence and gate posts:**
  - There are three (3) fence posts including two fence posts on either side of the gate and one against the house measuring 79.75 inches (6.64 feet) high and painted a cream color from Sherwin Williams’ exterior paint line to match the trim color on the home (Exhibit D).

## **ATTACHMENTS**

Exhibit A: National Register of Historic Places Inventory

Exhibit B: Certificate of Appropriateness Application

Exhibit C: Subject Property Map

Exhibit D: Applicant Submitted Photographs and Information

## **HISTORIC HANDBOOK DESIGN RECOMMENDATIONS**

### **Approval Requirement Needs Table: Fencing and Gates**

- *All types of fencing and gates require Commission Hearing and Approval.*

### **Chapter 5 – Section 9: Fences and Walls**

- *Fences should be compatible with most structures in the district.*
- *The style of fence should respond to the historic nature of the property. All wooden fences should be “stick-built” on site.*
- *Wooden fences visible from the street and/or wooden fences in front yards and side yards of corner lots are required to be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Privacy fences encompassing an area of no more than 250 square feet may be allowed at the discretion of the Commission when adjacent to the applicant's house, garage, or other outbuilding in order to screen from view trash cans, mechanical equipment, cars or other unsightly items, provided such fence does not unreasonably impact any neighbor by blocking windows or the like.*
- *Privacy fences allowed by the Commission should be landscaped where practical with appropriate shrubbery to soften the appearance of the fence.*

### **Design Standards: Fences and Walls**

1. *Use materials such as natural stone, brick, wood, powder coated aluminum and iron.*
2. *Chain link or plastic materials are prohibited.*
3. *Materials and style should coordinate with building and neighborhood buildings as well as other walls and fences in the area.*

### **RECOMMENDATION:**

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and Guidelines and act accordingly.
2. If approved, applicant(s) should be informed of the following:
  - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
  - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Inventory—Nomination Form

For NPS use only  
received  
date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street  
Historic District, Concord

#7

47

J. Lee Crowell was a prominent attorney who numbered James William Cannon among his clients and who served three terms as Mayor of Concord.

80. Caldwell House  
63 Franklin Avenue, N.W.  
ca. 1905  
C

Two-story, frame house combining Queen Anne and Colonial Revival style elements. Two-story, gable roofed bay projects forward of main hip-roofed block of house. Bay has cut-away corners trimmed with large, scroll-like brackets. Wrap-around porch has retaining wall clad in shingles and Tuscan columns.

81. Mabry House  
49 Franklin Avenue, N.W.  
ca. 1900  
C

One-story, frame, cottage combining Queen Anne and Colonial Revival elements. Facade facing Franklin Avenue is asymmetrically composed with projecting gable clad in shingles and hip-roofed dormer piercing main hip roof. Porch has paired Tuscan columns (grouped in threes at the corners) and balustrade. West side of house is prominent because the house is placed close to Spring Street; its most prominent feature is a slanted bay window whose cut-away corners are trimmed with scroll-like brackets and whose gable is also shingled. This gable is echoed by a smaller one with the same materials near the rear of the house.

82. House  
43 Franklin Avenue, N.W.  
ca. 1895  
C

One-story, frame house with high hip roof and facade composed of two projecting gables. Gables also project from both sides of house. All four gables have cut-out ventilators. House has full facade porch with turned posts and balustrade. Two tall interior chimneys provide four fireplaces for this center hall, double-pile house.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Ex Post Facto Request for a fence/gate on our property

1. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):

Handmade by a custom trim carpenter the raw materials of the design consist of paint grade pressure treated pine, screws, wood glue, an interior wrought iron latch, wheels to support the interior weight of the driveway gate portion, and also two custom color blends of exterior grade super paint from sherwin williams exterior paint line. Painted a khacki green gray and cream color this designs color pallet was made to identically match the siding and trim colors on the home. The gate was craftfully designed with a french insipred curvature and a simplistic yet elegant slat system that is a mirror image when opening. However, the fence portion is a bit more simplistic with a vertical post and slat system. There is a post every 7 slats with the exception of the post and slat to tge left of the gate where it meets the edge of our property line. Both areas of the design play off of the original victorian era home with a slightly modern perspective while also allowing it to flow nicely. The modern victorian design aids in a cohesive transition that can last the test of time. Below I have noted the dimensions of each area of the fence and driveway gate and can also provide a photo of the dimensions in each area of the gate for reference as well as perspective regarding how the end result looks alongside the property.

• Post: \_\_\_\_\_

• Fence Slats: \_\_\_\_\_

• Highest portion of Driveway Gate: \_\_\_\_\_

• Lowest portion of Driveway Gate: \_\_\_\_\_

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to ensure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

Date: 8/11/23

Signature of Owner/Agent:

X:  (BLANCA LYNCH)

x: Angelica de Santa Ana

x: [Signature]

**AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.**

**Staff Use Only:** Application Received by: Date: \_\_ 20 \_\_ Fee: \$20.00 Received by: Date: \_\_ 20 \_\_ *The application fee is nonrefundable.*

**Required Attachments/Submittals** Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. Original copies are preferred. Detailed written description of the project. Photographs of site, project, or existing structures from a "before" perspective. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable. Samples of windows, doors, brick, siding, etc. must be submitted with application. Detailed list of materials that will be used to complete the project.

APPLICANT INFORMATION

Name: Blanca Lynch & Kevin Murphy Jr

Address: 43 Franklin Avenue NW

City: Concord State: North Carolina Zip Code: 28025

Telephone: 980-395-7707

OWNER INFORMATION

Name: Timothy Lynch, Angelica De Santa Ana, & Blanca Lynch

Address: 5333 Bradenbury Ct (Tim/Angelica) & 43 Franklin Avenue Nw (Blanca)

City: Charlotte (Tim/Angelica) & Concord (Blanca)

State: North Carolina (Tim, Angelica, & Blanca)

Zip Code: 28215 (Tim/Angelica) & 28025 (Blanca)

Telephone: 704-200-5295 (Tim), 704-200-5386 (Angelica), 980-395-7707 (Blanca)

SUBJECT PROPERTY

Street Address: 43 Franklin Avenue NW, Concord, NC 28025

P.I.N. # 56207858100000 (Parcel #)

Area (acres or square feet): 8,712 sqft (lot size)

Current Zoning: RM-1 (RESIDENTIAL)

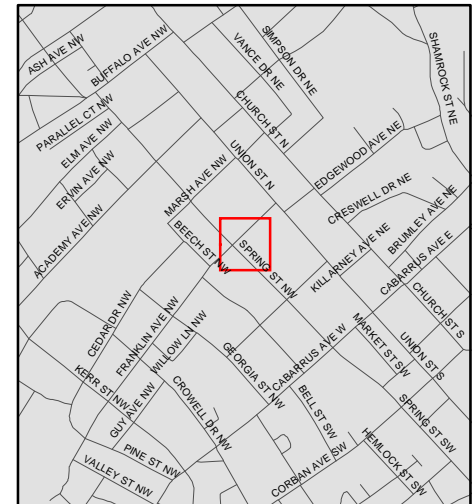
Land Use: RM-1 (RESIDENTIAL)



H-20-23

43 Franklin Ave NW

PIN: 5620-78-5810



Source: City of Concord  
Planning Department

**Disclaimer**

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

**EXHIBIT C**



EXHIBIT D



7937  
74

614

66"

# Add tag



45"

91"

# Add tag



1 1/2"

1 1/2"

1 1/2"

2

3



57  $\frac{3}{4}$

50  $\frac{3}{4}$



# Title

Posts 79 3/4, fence pickets 6 ft, slats 5.5" wide, 1 1/2" spacing,

gate 66 inches highest, 61 1/4 lowest, 91" total span 45" wide each



lowest

lowest-priced



1 2 3 4 5 6 7 8 9 0

q w e r t y u i o p

a s d f g h j k l

↑ z x c v b n m ↵

!#1 , < English (US) > . ↵



**DATE:**

September 13, 2023

**SUBJECT:**

<u>Certificate of Appropriateness Request:</u>	H-21-23
<u>Applicant:</u>	Chad Celetti
<u>Location of Subject Property:</u>	27 Yorktown Street NW
<u>PINs:</u>	5620-77-8612
<u>Staff Report Prepared by:</u>	Kim Wallis, Senior Planner

**BACKGROUND**

- The subject property at 27 Yorktown Street is designated as a “Contributing” structure in the North Union Street Historic District (ca. 1921) (Exhibit A).
- “Frame cottage with one interior and chimney features Colonial Revival and bungalow characteristics. House has a high hip roof. The original wrap-around porch now extends the length of full façade. It is supported by short, square, vernacular Doric columns on brick pedestals. The entrance has a single section of sidelights and bungalow style windows. Hip roof has panels underneath as well as exposed rafters. The latter can also be found beneath the porch and the dormer with two vents that pierces the main roof. Façade fenestrations are one-over-one with bungalow glass in upper panes.” (Exhibit A).

**DISCUSSION**

On August 1, 2023, Chad Celetti applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 to remove one (1) Water Oak tree located in the right lawn of the front yard (Exhibit B). The applicant states:

- When he purchased the house in 2012 there was a small makeshift retaining wall around the root ball that caused the tree root ball to raise quite a bit
- Both the City Arborist and a private arborist inspected the tree and both witnessed root rot
- He is afraid to have the tree collapse and would like to remove it due to safety concerns

According to the Tree Risk Assessment Form, the subject tree was inspected and assessed by Bill Leake, City Arborist, on July 27, 2023. The tree has a Hazard Rating of 4 with the City Arborist commenting that “this tree has an area of decay on the North side and considerable bow on several upper branches.” The applicant has noted a willingness to plant a new tree to replace the tree that is proposed to be removed, in the same general location. DBH 42.5” Height 65’ Spread 60’ (Exhibit B, D and E).

**ATTACHMENTS**

Exhibit A: National Register of Historic Places Inventory  
Exhibit B: Application for Certificate of Appropriateness  
Exhibit C: Subject Property Map  
Exhibit D: Tree Risk Assessment Form  
Exhibit E: Tree Risk Assessment Photographs (provided by City Arborist and staff)

**HISTORIC HANDBOOK DESIGN RECOMMENDATIONS**

**Approval Requirement Needs Table: Trees**



*Removal of healthy trees or pruning of limbs over six (6) inches in diameter in any location on the property requires Commission Hearing and Approval.*

#### **Chapter 5 – Section 8: Landscaping and Trees**

- *One of the most visible features of the Districts is the landscaping and the associated tree canopy. Activities which negatively impact any aspect of the landscape should be avoided, such as the removal of healthy trees and mature shrubs.*
- *Tree health may be decided upon by the acquisition of a Tree Hazard Evaluation Form issued by the City Arborist or a report submitted by a certified arborist. Healthy trees are trees that have a hazard rating of four (4) or lower.*
- *Removal of healthy trees over the size of six (6) inches in diameter (measured four (4) feet above ground) or pruning of healthy tree limbs over six (6) inches in diameter requires Historic Preservation Commission review and approval.*
- *All trees that are removed should be replaced with a tree of similar species in an appropriate location unless no suitable location exists on the subject site. Trees removed within street view must also have the stumps removed below ground level.*

#### Design Standards: Landscaping and Trees

- *Trees which are removed shall be replaced by a species which, upon maturity, is similar in scale to the removed specimen. For example, canopy trees shall be replaced with canopy trees, and understory trees with understory trees.*

#### **RECOMMENDATION**

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and Guidelines and act accordingly.
2. If approved, applicant(s) should be informed of the following:
  - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
  - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Inventory—Nomination Form

For NPS use only

received

date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street  
Historic District, Concord

#7

77

169. House  
27 White Street, N.W.  
1921 (SM)  
C

Frame cottage with one interior end chimney features Colonial Revival and bungalow characteristics. House has a high hip roof. The original wrap-around porch now extends the length of full facade. It is supported by short, square, vernacular Doric columns on brick pedestals. The entrance has a single section of sidelights with bungalow style windows. Hip roof has panels underneath as well as exposed rafters. The latter can also be found beneath the porch and the dormer with two vents that pierces the main roof. Facade fenestrations are one-over-one with bungalow glass in upper panes.

170. Cottage/House  
31 White Street, N.W.  
ca. 1910  
C

One-story, double-pile, frame Colonial Revival House has pyramidal roof and two, tall interior chimneys. Facade windows have Queen Anne flavor and consist of blank lower pane with patterned pane above. This motif continues in sidelights that flank only one side of principal door. A pyramidal dormer with two vents over center bay pierces the main roof. Porch features Tuscan columns resting on brick bases.

171. House  
35 White Street, N.W.  
ca. 1910  
C

Handsome, three-bay bungalow has decorative gable over north bay and entrance. House is of frame construction. Principal door features surrounds and sidelights. Projecting eaves at the main front gable and the decorative gable are supported with triangular-knee braces. Porch only extends two bays of facade and continues on south side of house to form porte-cochere. Porch supported by typical bungalow columns that have slightly slanted sides. Columns rest on short brick bases. Balustrade on south side of porch features balusters and a simple snowflake design. House has two, thick, interior end chimneys.

EXHIBIT A



Application for  
Certificate of Appropriateness

**AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.**

**APPLICANT INFORMATION**

Name: Chad Celett  
Address: 27 Yorktown St NW  
City: Concord State: NC Zip Code: 28025 Telephone: 704 900 9007

**OWNER INFORMATION**

Name: Same  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Telephone: \_\_\_\_\_

**SUBJECT PROPERTY**

Street Address: 27 Yorktown St NW P.I.N. # \_\_\_\_\_  
Area (acres or square feet): .31 Current Zoning: single family and Use: residential

**Staff Use Only:**

Application Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20\_\_\_\_  
Fee: \$20.00 Received by: JRackmarik Date: 8/16, 2023  
*The application fee is nonrefundable.*



**General Requirements**

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

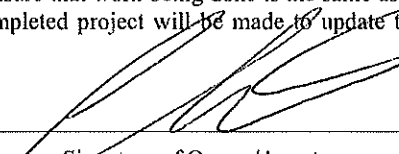
1. Project or Type of Work to be Done: tree removal
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
  - ① Removal of front Right large Oak tree.
  - Replace with smaller Oak tree in same spot.
  - ② Remove tree in rear yard

<b>Required Attachments/Submittals</b>
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. Digital copies are preferred.
2. Detailed written description of the project.
3. Photographs of site, project, or existing structures from a "before" perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

**Certification**

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

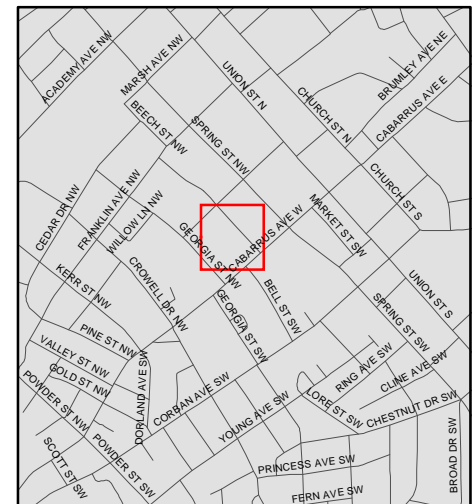
8/1/23  
Date

  
Signature of Owner/Agent

H-21-23

27 Yorktown St NW

PIN: 5620-77-8612



Source: City of Concord  
Planning Department

**Disclaimer**

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

**EXHIBIT C**

# TREE RISK ASSESSMENT FORM

Site/Address: 27 Yorktown St NW

Map/Location: Right front

Owner: public: \_\_\_\_\_ private: X unknown: \_\_\_\_\_ other: \_\_\_\_\_

Date: 07/27/23 Inspector: Bill Leake

Date of last inspection:

## RISK RATING:

**1**            **1**            **2**            **4**  
Failure + Size + Target = Risk  
Potential of part Rating Rating

If approved for removal, the replacement tree species and location shall be listed on the certificate of appropriateness.

## TREE CHARACTERISTICS

Tree #: **1 Water Oak (Quercus nigra)**

DBH: **42.5"** # of trunks: **1** Height: **65'** Spread: **60'**

Form:  generally symmetric  minor asymmetry  major asymmetry  stump sprout  stag-headed

Crown class:  dominant  co-dominant  intermediate  suppressed

Live crown ratio: 98% Age class:  young  semi-mature  mature  over-mature/senescent

Pruning history:  crown cleaned  excessively thinned  topped  crown raised  pollarded  crown reduced  flush cuts  
 cabled/braced  none  multiple pruning events Approx. dates:

Special Value:  specimen  heritage/historic  wildlife  unusual  street tree  screen  shade  indigenous  protected by gov. agency

## TREE HEALTH

Foliage color:  normal  chlorotic  necrotic Epicormics;

Foliage density:  normal  sparse Leaf size:  normal  small

Annual shoot growth:  excellent  average  poor  none Twig Dieback:   curb/pavement  guards

Woundwood:  excellent  average  fair  poor

Vigor class:  excellent  average  fair  poor

Major pests/diseases: Root decay on driveway side.

## SITE CONDITIONS

Site Character:  residence  commercial  industrial  park  open space  natural  woodland/forest

Landscape type:  parkway  raised bed  container  mound  lawn  shrub border  wind break

Irrigation:  none  adequate  inadequate  excessive  trunk wetted

Recent site disturbance? YES  construction  soil disturbance  grade change  herbicide treatment

% dripline paved: 65% Pavement lifted: YES

% dripline w/ fill soil: 0%

% dripline grade lowered: 0%

Soil problems:  drainage  shallow  compacted  droughty  saline  alkaline  acidic  small volume  disease center  history of fail  
 clay  expansive  slope \_\_\_\_\_ ° aspect: \_\_\_\_\_

Conflicts:  lights  signage  line-of-sight  view  overhead lines  underground utilities  traffic  adjacent veg.  \_\_\_\_\_

Exposure to wind:  single tree  below canopy  above canopy  recently exposed  windward, canopy edge  area prone to windthrow

Prevailing wind direction: SW Occurrence of snow/ice storms  never  seldom  regularly

## TARGET

Use Under Tree:  building  parking  traffic  pedestrian  recreation  landscape  hardscape  small features  utility lines

Can target be moved? NO Can use be restricted? NO

Occupancy:  occasional use  intermittent use  frequent use  constant use

EXHIBIT D

# TREE DEFECTS

## ROOT DEFECTS:

Suspect root rot: YES Mushroom/conk/bracket present: YES ID: Inonotus dryadeus

Exposed roots:  severe  moderate  low Undermined:  severe  moderate  low

Root pruned: distance from trunk Root area affected: \_\_\_\_ Buttress wounded:  When: \_\_\_\_\_

Restricted root area:  severe  moderate  low Potential for root failure:  severe  moderate  low

LEAN: 2 deg. from vertical  natural  unnatural  self-corrected  Soil heaving:

Decay in plane of lean:  Roots broken:  Soil cracking:

Compounding factors: Lean severity:  severe  moderate  low

Concern Areas: Indicate presence of individual structural issues and rate their severity (S = severe, M = moderate, L = low)

DEFECT	ROOT CROWN	TRUNK	SCAFFOLDS	BRANCHES
Poor taper				
Bow, sweep			M	
Codominants/forks			S	
Multiple attachments				
Included bark			M	
Excessive end weight				
Cracks/splits				
Hangers				
Girdling				
Wounds/seam				
Decay	L			
Cavity				
Conks/mushrooms/bracket				
Bleeding/sap flow				
Loose/cracked bark				
Nesting hole/bee hive				
Deadwood/stubs				
Borers/termites/ants				
Cankers/galls/burls				
Previous failure				L

## RISK RATING

Tree part most likely to fail in the next six months: Branches

Failure potential: **1** - low; **2** - medium; **3** - high; **4** - severe

Size of part: **0**-0"-3" **1**-3"-6" **2**-6"-18" **3**-18"-30" **4**->30"

Target rating: **0**-no target **1**-occasional use **2**-intermittent use **3**-frequent use **4**-constant use

### Maintenance Recommendations

none  remove defective part  reduce end weight  crown clean

thin  raise canopy  crown reduce  restructure  cable/brace

Inspect further  root crown  decay  aerial  monitor

Remove tree  When replaced, a similar sized tree species would be appropriate in same general location

When replaced, alternate tree replacement locations are available

Effect on adjacent trees:  none  evaluate

Notification:  owner  manager  governing agency

Date: 07/27/23

## COMMENTS

This tree has an area of decay on the North side and considerable bow on several upper branches.

Bill Leake



**EXHIBIT E**





27



27

**DATE**

September 13, 2023

**SUBJECT**

Certificate of Appropriateness Request:

H-15-23

Applicant:

Doobay Sangster

Location of subject property:

71 Franklin Ave NW

PIN:

5620-78-2479

Staff Report prepared by:

Kim Wallis, Senior Planner

**BACKGROUND**

- The subject property, 71 Franklin Ave. NW, is designated as a “Pivotal” structure in the North Union Street Historic District, ca 1895 (Exhibit A).
- “Highly distinctive, two-story frame Queen Anne style residence. Unusual facade composed of two gables with flush board panels and small, single pane windows flanking a recessed balcony. Balcony is adorned with semi-circular spindle frieze. Full facade porch retains charming canvas awning and turned posts, sawn brackets, and a spindle frieze; Centrally placed, pedimented attic dormer. Unusual second story flat-roofed sunroom at rear of house. One-story frame servants' quarters with hip roof, one of a handful of early outbuildings in the district, stands at the rear of the property.” (Exhibit A).
- On June 21, 2023, Doobay Sangster, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for modifications including paving a driveway, replacing a walkway, installing a fence and gates, and replacing an existing shed with a garage (Exhibit B).

**DISCUSSION**

This request was reviewed by the HPC on August 9, 2023, with the public hearing continued to the September 13, 2023, HPC meeting. The HPC concluded that they needed more information and clarification to make an informed decision, to include:

- the correct fence type depiction and dimension on elevations in the front and side yard fence,
- depicted gate types and locations on elevations and,
- detailed information on the materials, design, and color of the elements of the garage.

**New Fencing & Gates:** (Exhibit D & E)

The front and side yard fence will include:

- 4’ tall brick pillars and 18-24” brick walls with aluminum picket fence sections between each pillar which will extend along the front of the house to the side/halfway point of the house.
- 6’ natural treated pine wood privacy fence with 6” x .5” boards which will extend from the right side/halfway point of the house to the rear corner of the house in the side yard.
- A 4’ tall walkway gate will be made of heavy-duty black aluminum with an arched design will be located at the front entrance to the new concrete walkway off of the public sidewalk and attach to the front yard brick and aluminum fence on either side.
- A 4’ tall driveway gate made of heavy-duty black aluminum with an arched design will span the width of the 15’ driveway and attach to the brick and aluminum fence on either side.

The rear yard fence will include:

- 6’ natural treated pine wood privacy fence with 6” x .5” boards that will extend from the rear right corner of house back to the rear right property line and extend along the rear property. A partial 40-foot fence exists along the left side of the property.

**New Garage:** (Exhibit D & E)

The new garage will be located in the rear yard in the general location of an existing 36’ wide x 30’ deep dilapidated shed, that will be demolished to make way for the new garage.

The garage will include:

- A four-car detached garage, 1024 sq feet in size at 40’ 11.5” wide x 25” deep x 21’ high at roof top which meets the size and zoning setback requirements as set forth by the Concord Development Ordinance (CDO).
- A concrete slab foundation.
- A gable style roof to be covered by Owens Corning TruDefinition Duration asphalt in Black Sable, to match primary residence.
- Wood siding, 5/8 x 5.5-inch, painted white, to match the primary residence.
- Thirteen (13) 1/1 sash Jeld-wen type W-2500 wooden windows, painted white and double hung (three (3) located on each side elevation, four (4) on the rear elevation and three (3) in front dormers).
- Two (2) 36”x80” entry doors, located on the right and rear elevations, to be metal and painted white, with four panels and a semi-circle window design at top.
- Three (3) metal and painted white paneled garage doors with windows at top (two (2) 7’x8’ at left and one (1) 7’x16’ on the right).
- Four (4) black metal Victorian style wall sconces to be located near the entry doors and on either side of the front elevation.

**Driveway Modification:** (Exhibit D)

The existing gravel driveway will be paved concrete with a 20’ section at the start of the driveway to be stamped concrete and stained brown.

**Walkway Modification:** (Exhibit D)

The existing walkway will be removed, and new concrete walkway installed.

**ATTACHMENTS**

Exhibit A: National Register of Historic Places Inventory

Exhibit B: Application for Certificate of Appropriateness

Exhibit C: Subject Property Map

Exhibit D: Site Plan/Elevations

Exhibit E: Applicant supplied Photographs/Information

**HISTORIC HANDBOOK DESIGN RECOMMENDATIONS**

**Chapter 4: Local Standards and General Policies**

*Alterations:* Alterations having no historical basis shall be avoided whenever possible. Any type of alteration of exterior features of a building, site, or environment within the Historic Districts which is not specifically listed within these regulations shall be referred to the Historic Preservation Commission for action on the issuance of a Certificate of Appropriateness.

- All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.
- Contemporary design for alterations and additions to existing properties shall be encouraged when such alterations and additions do not destroy significant historical, architectural or cultural material,

*and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

- *New additions or alterations shall be construed in such a manner as to preserve the essential form and integrity of the structure, should the addition or alteration be removed.*

#### **Approval Requirement Needs Table: Accessory Buildings**

*New construction, demolition, and moving of accessory buildings requires Commission Hearing and Approval.*

#### **Approval Requirement Needs Table: Fencing and Gates**

*All types of fences and gates require Commission Hearing and Approval.*

#### **Approval Requirement Needs Table: Patios, Walks, and Driveways**

*All new patios, walks, and driveways require Commission Hearing and Approval.*

### **Chapter 5 – Section 3: New Accessory Structure Construction**

- *Through their siting and relationship to the houses, the streets, and the alleys, the accessory buildings contribute to the historic character of the district as well.*
- *Early garages were typically single-bay structures located in the rear yard at the end of the driveway. Early storage buildings and sheds were usually small frame structures sited toward the back of the rear yard and were generally not visible from the street.*

#### **Design Guidelines and Recommendations**

- *If replacement of an element or a detail is necessary, replace only the deteriorated item to match the original in size, scale, proportion, material, texture, and detail.*
- *Keep the proportion of new garages and accessory structures compatible with the proportion of the main house. Typically, these buildings were smaller in scale than the main house.*
- *New garages and accessory structures must use traditional roof forms, materials, and details compatible with the main building or historic accessory structures in the district.*
- *Locate new garages and accessory structures in rear yards and in traditional relationship to the main buildings.*
- *All accessory structures shall remain detached from the main building.*
- *Accessory buildings for Pivotal and Contributing structures should complement the siding and roof material of the primary structure.*

### **Chapter 5 – Section 9: Fences and Walls**

- *All wooden fences should be “stick-built” on site.*
- *Wooden fences visible from the street and/or wooden fences in front yards and side yards of corner lots are required to be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Painting or staining is recommended, but not required, for rear yard fences unless they are visible from the street.*
- *Front yard fences should not exceed four feet in height. Wooden fences should be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Rear yard fences are defined as fences, which do not extend forward on the applicant’s property beyond the side centerline of the house in plain view. Approval of the location may also be handled on a case-by-case basis to determine the best natural break in the rear and front yards for placement of fences.*
- *Rear yard fences may be higher than four feet.*

- *Privacy fences are defined as fences with no spacing between pickets or fences of the shadowbox design. Privacy fences may be allowed at the discretion of the Commission in the following circumstances:*
  - *1. Privacy fences are most appropriate in rear yards.*
  - *2. Privacy fences may be allowed where the applicant's rear yard is directly adjacent to property that is either not in a historic district or is within a historic district but is non-contributing or intrusive in that district. The applicant shall show to the satisfaction of the Commission:*
    - *(a) that the adjacent property is unsightly in comparison to other properties surrounding the applicant's property,*
    - *(b) that the adjacent property or nearby property raises reasonable security concerns for the applicant, or*
    - *(c) that the adjacent property could reasonably be determined to negatively impact the property value of the applicant's property.*
    - *Privacy fences shall be allowed only on the applicant's property line directly adjoining the aforesaid adjacent property unless the Commission feels that such a partial privacy fence would not be visually appropriate or would not accomplish the purpose(s) of the privacy fence set forth above.*
  - *3. Privacy fences encompassing an area of no more than 250 square feet may be allowed at the discretion of the Commission when adjacent to the applicant's house, garage, or other outbuilding in order to screen from view trash cans, mechanical equipment, cars or other unsightly items, provided such fence does not unreasonably impact any neighbor by blocking windows or the like.*
- *Privacy fences allowed by the Commission should be landscaped where practical with appropriate shrubbery to soften the appearance of the fence.*

*Design Guidelines and Recommendations*

- *Do not use high walls or fences to screen front yards.*
- *Use materials such as natural stone, brick, wood, powder coated aluminum and iron.*
- *Materials and style should coordinate with building and neighboring buildings as well as other walls and fences in the area.*

**Chapter 5 – Section 10: Driveways, Walkways, and Parking**

- *Gravel and pavement are acceptable materials for driveways, as are some alternative materials such as cobblestone, brick, and pervious pavers.*
- *New walkways should consist of appropriate natural material including gravel, concrete, stone, brick or pervious pavers.*

*Design Guidelines and Recommendations*

- *Parking areas should not be the focal point of the property, and should be located in such a manner as to minimize their visibility from the street.*
- *Trees should be planted or retained in order to maintain the tree canopy and to minimize the focus of the parking areas.*
- *Excessive expanses of paving should be avoided.*
- *Use vegetation screen or berms to reduce reflection and visual confusion. Within residential areas, integrate parking areas into landscaping and surface with the appropriate materials such as concrete, brick, crushed stone or gravel. In general, asphalt should only be used for areas not visible from the street; its use will be considered on a case by case basis by the Historic Preservation Commission.*

**RECOMMENDATION**

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
  - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
  - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Inventory—Nomination Form

For NPS use only

received

date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street  
Historic District, Concord

#7

46

77. House  
74 Franklin Avenue, N.W.  
ca. 1905  
C

One-story, frame cottage, the second of a pair of speculative dwellings said to have been erected by J.L. Hartsell. Originally nearly identical to #76, this cottage underwent some remodeling and enlargement at an undetermined date. Changes include substantial rear addition, replacement of shed-roofed porch with hip-roofed porch, and curbed extension of gable-front facade roof in a manner typical of the English cottage style. House has vinyl siding and ornamental iron porch posts.

78. House  
78 Franklin Avenue, N.W.  
ca. 1900  
C

Two-story, frame, Queen Anne style house with pronounced vertical emphasis created by high, nearly pyramidal roof and narrow, two-bay facade. Facade consists of two gables, one simply an interruption of the main roofline and the other a projecting bay with cut-away corners. Both gables have sawn ornaments with spindlework; the cut-away corners of the projecting gable are trimmed with bowed brackets. The porch is upheld with a combination of turned posts and recently added ornamental iron supports.

79. J. Lee Crowell House  
71 Franklin Avenue, N.W.  
ca. 1895  
P

Highly distinctive, two-story frame Queen Anne style residence. Unusual facade composed of two gables with flush board panels and small, single pane windows flanking a recessed balcony. Balcony is adorned with semi-circular spindle frieze. Full facade porch retains charming canvas awning and turned posts, sawn brackets, and a spindle frieze. Centrally placed, pedimented attice dormer. Unusual second-story flat-roofed sunroom at rear of house. One-story frame servants' quarters with hip roof, one of a handful of early outbuildings in the district, stands at the rear of the property.

EXHIBIT A





**AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.**

**APPLICANT INFORMATION**

Name: DOOBAY SANGSTER  
Address: 71 FRANKLIN AVE NW  
City: CONCORD State: NC Zip Code: 28025 Telephone: 980-521-6920

**OWNER INFORMATION**

Name: D SAME  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Telephone: \_\_\_\_\_

**SUBJECT PROPERTY**

Street Address: 71 FRANKLIN AVE NW P.I.N. # \_\_\_\_\_  
Area (acres or square feet): 0.6 Current Zoning: \_\_\_\_\_ Land Use: \_\_\_\_\_

**Staff Use  
Only:**

Application Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_  
Fee: \$20.00 Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_

*The application fee is nonrefundable.*

**General Requirements**

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

Install a driveway gate and walkway gate. (kw for JS)

1. Project or Type of Work to be Done: PAVE DRIVEWAY REMOVE & REPLACE walkway. Install fence and REPLACE EXISTING SHED WITH GARAGE
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):  
WOOD SIDING TO MATCH WHATS ON HOUSE CURRENTLY -  
FRONT FENCE WILL BE BRICK & METAL - 46" HIGH (White & Black)  
SIDE FENCE WILL BE 6" WOOD PRIVACY - (Natural)  
GARAGE WILL BE SAME FOOTPRINT AS EXISTING BUILDING. Driveway layout is attached in SITE PLAN!

**Required Attachments/Submittals**

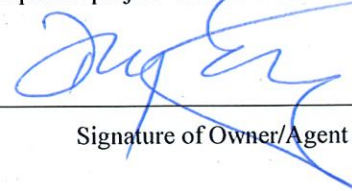
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. **Digital copies are preferred.**
2. Detailed written description of the project.
3. Photographs of site, project, or existing structures from a "before" perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

**Certification**

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

06.21.23

Date



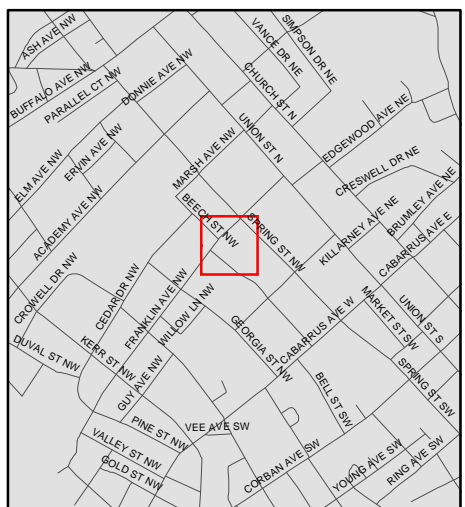
Signature of Owner/Agent



**H-15-23**

**71 Franklin Ave NW**

**PIN: 5620-78-2479**



Source: City of Concord  
Planning Department

**Disclaimer**

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

**EXHIBIT C**

# SINGLE FAMILY RESIDENCE-GARAGE ADDITION

71 FRANKLIN ST. CONCORD, NC 28205

SHEET:

# T-1

PROJECT NAME:

**SANG RESIDENCE**

PROJECT OWNER:

- JOHN SANG

PROJECT ADDRESS:

- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:

- 65 CHURCH ST. S.  
CONCORD, NC. 28205

SHEET TITLE:

- TITLE SHEET

REV.	DATE	DESCRIPTION								
1	11/11/22	DRAFT PLAN SET REVIEW								

## 1 PROJECT NOTES

- THESE DRAWINGS REFLECT LOCAL CITY STANDARDS AS OF CURRENT DATE.
- ALL ITEMS SHOWN ARE NEW TO BE PROVIDED & INSTALLED BY G.C. UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENT.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO BID AND CONSTRUCTION.
- IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY DESIGNER/ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- THESE DOCUMENTS HAVE BEEN PREPARED EXPRESSLY FOR USE BY THE OWNER OF THE ADDRESS INDICATED ON COVER PAGE AND SOLELY FOR THE PURPOSE OF IMPROVEMENTS TO THE PROPERTY INDICATED AND FOR THE CONSTRUCTION DETAILED IN THESE DRAWINGS AND NOT FOR ANY FUTURE IMPROVEMENTS. ANY ADDITIONAL USE OF THESE DOCUMENTS FOR ANY REASON OTHER THAN THAT MENTIONED ABOVE MUST BE AUTHORIZED IN WRITING BY JOSE LUNA (THE COPYRIGHT HOLDER).
- THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE SPECIFICATION & CONTRACT FOR CONSTRUCTION CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED A SINGLE ENTITY. THE CONTRACTOR IS THEREFOR BOUND BY ALL INFORMATION INCLUDED.
- CONTACT BUILDING OWNER FOR COORDINATION OF STAGING AND REFUSE REMOVAL PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- ALL FLOOR CUTTING, TRENCHING AND OR REMOVAL SHALL BE REPLACED WITH THE SAME MATERIAL IN THE SAME THICKNESS OF THE ADJACENT FLOOR MATERIAL. ADDITIONAL, CONCRETE PATCHING SHALL BE DOWELED INTO THE ADJACENT CONCRETE SLAB TO MINIMIZE DIFFERENTIAL SETTLEMENT OF THE FLOOR SYSTEM.
- PRIOR TO ROOF WORK CONSULT OWNER AND VERIFY ANY EXISTING WARRANTY ON EXISTING ROOF AND VERIFY IF ALL NEW WORK SHALL BE PERFORMED BY OWNER'S ROOFER.
- PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY DESIGNER/ENGINEER IN CASE OF DISCREPANCIES BEFORE PROCEEDING.
- BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID. DEMOLISHED MATERIALS SHALL BECOME THE GENERAL CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE GENERAL CONTRACTOR'S OPTION, EXCEPT FOR ITEMS OR MATERIAL INDICATED TO BE RE-USED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND WORK AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION DAILY.
- MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- ANY DAMAGE BY G.C. OR SUBCONTRACTOR TO EXISTING ASPHALT PAVEMENT AND/OR EXISTING LANDSCAPING SHALL BE REPAIRED AT NO COST TO OWNER.
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.

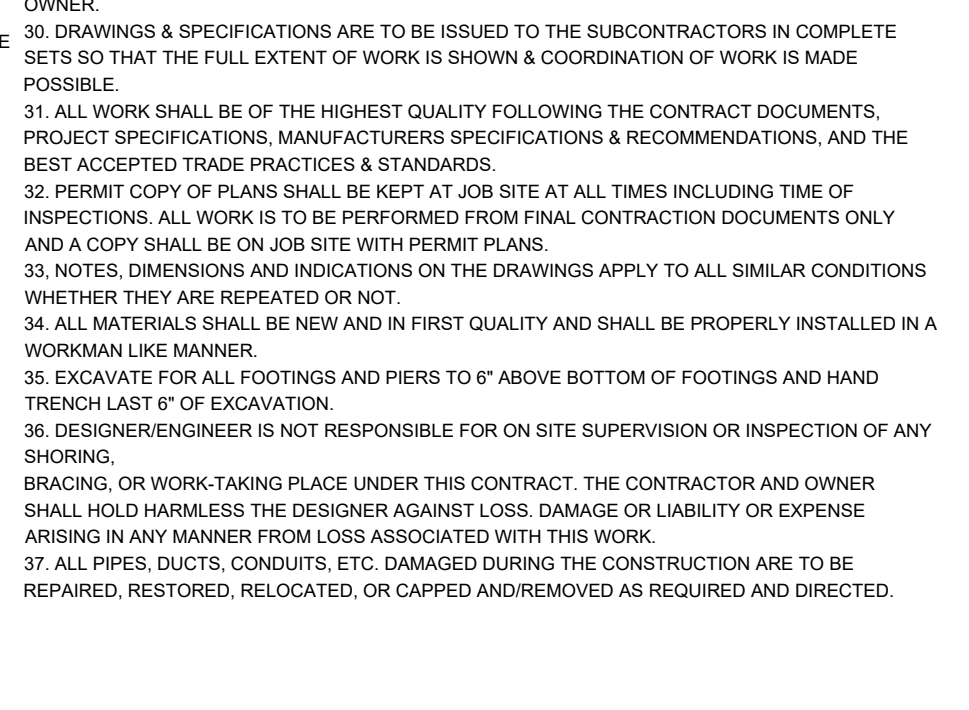
## 2 SHEET INDEX

GENERAL	TITLE SHEET
T-1	

DESIGN	
1.01	SITE PLAN & CONSTRUCTION PLAN
1.02	EXTERIOR ELEVATIONS
1.03	FENCE EXTERIOR ELEVATIONS
1.04	REFLECTED CEILING / ELECTRICAL PLAN
1.05	FOUNDATION PLAN & CONSTRUCTION DETAILS
1.06	ROOF FRAMING PLAN, CEILING FRAMING PLAN & CONSTRUCTION DETAILS
1.07	SCHEDULE, CONSTRUCTION DETAILS, WALL FRAMING PLAN

## 3 VICINITY MAP



## 4 APPLICABLE CODES

The City of CONCORD & CABARRUS COUNTY Building Department utilizes the following codes:

- 2018 NORTH CAROLINA RESIDENTIAL CODE.

## 5 SCOPE OF WORK

- GARAGE AND DRIVEWAY CONSTRUCTION
- INSTALLATION OF NEW GARAGE DOORS
- UNHEATED SPACE SF: 1124.29

## 6 DEFERRED SUBMITALS

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

## SPECIFICATIONS:

DATE DRAWN:  
- 11/11/2022

SCALE:  
- NTS

## DESIGN TEAM:

DESIGNER:  
- BURUCA design LLC

ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com



EXHIBIT D

PROJECT NAME:  
**SANG RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S.  
CONCORD, NC. 28205

SHEET TITLE:  
- SITE PLAN  
- CONSTRUCTION PLAN

REV.	DATE	DESCRIPTION
1	09/06/22	CONST. DRAWINGS COMPLETE

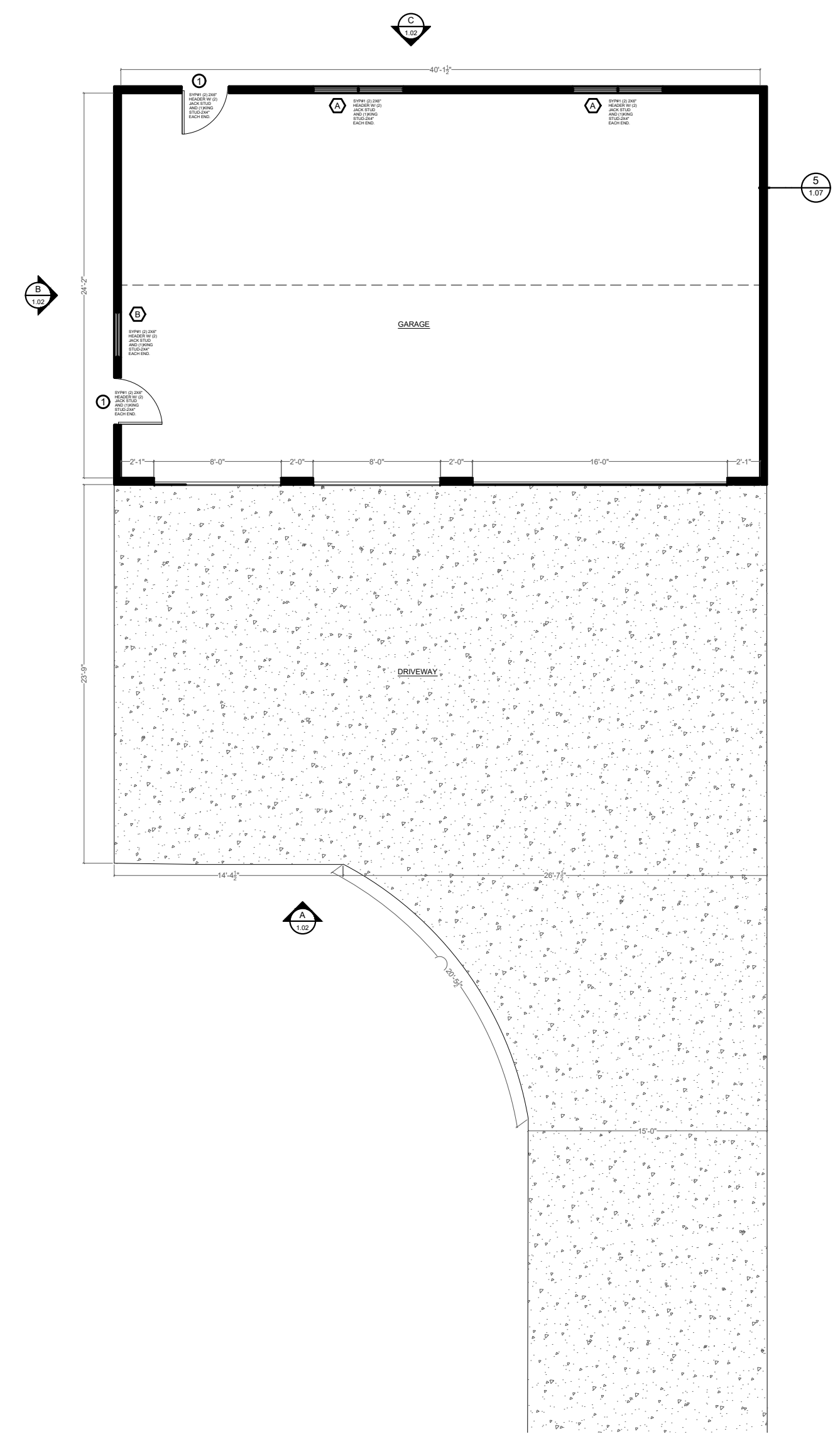
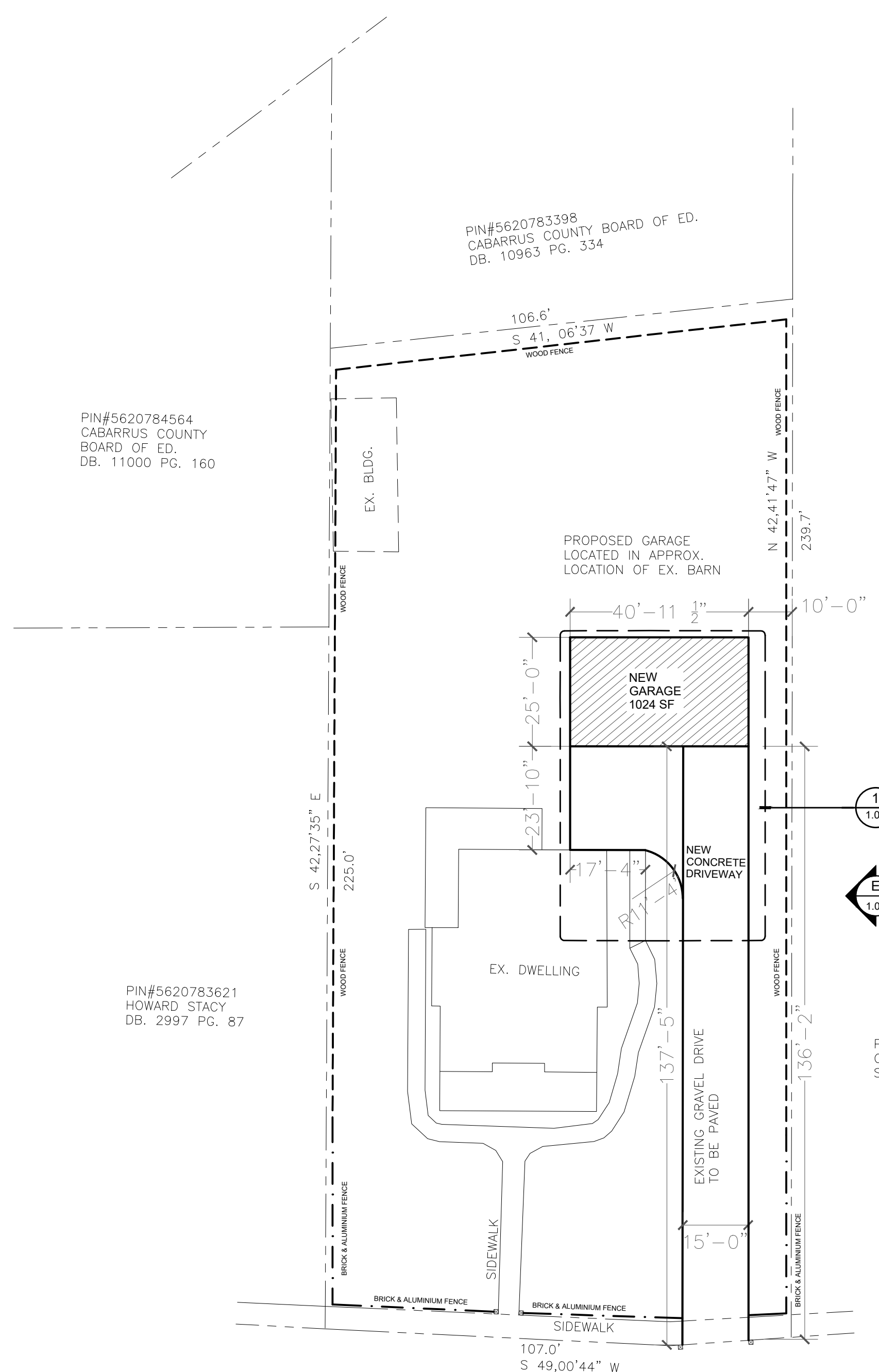
**SPECIFICATIONS:**

DATE DRAWN:  
- 10/25/2022  
SCALE:  
- NTS

**DESIGN TEAM:**

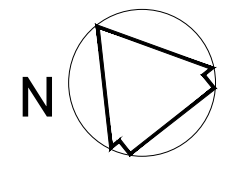
DESIGNER:  
- BURUCA design LLC  
ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



**GARAGE CONSTRUCTION PLAN**  
SCALE: 3/32" = 1'-0"

**SITE PLAN**  
SCALE: N.T.S



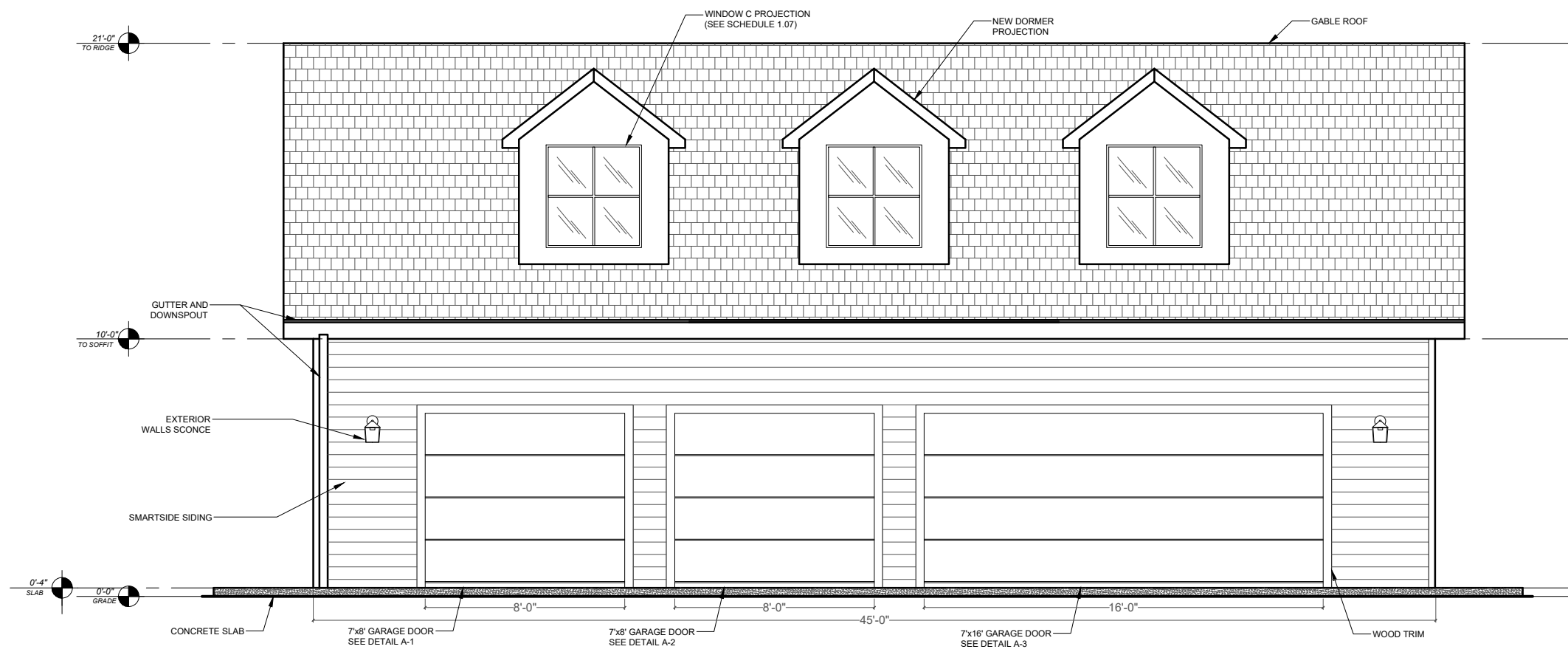
PROJECT NAME:  
**SANG RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

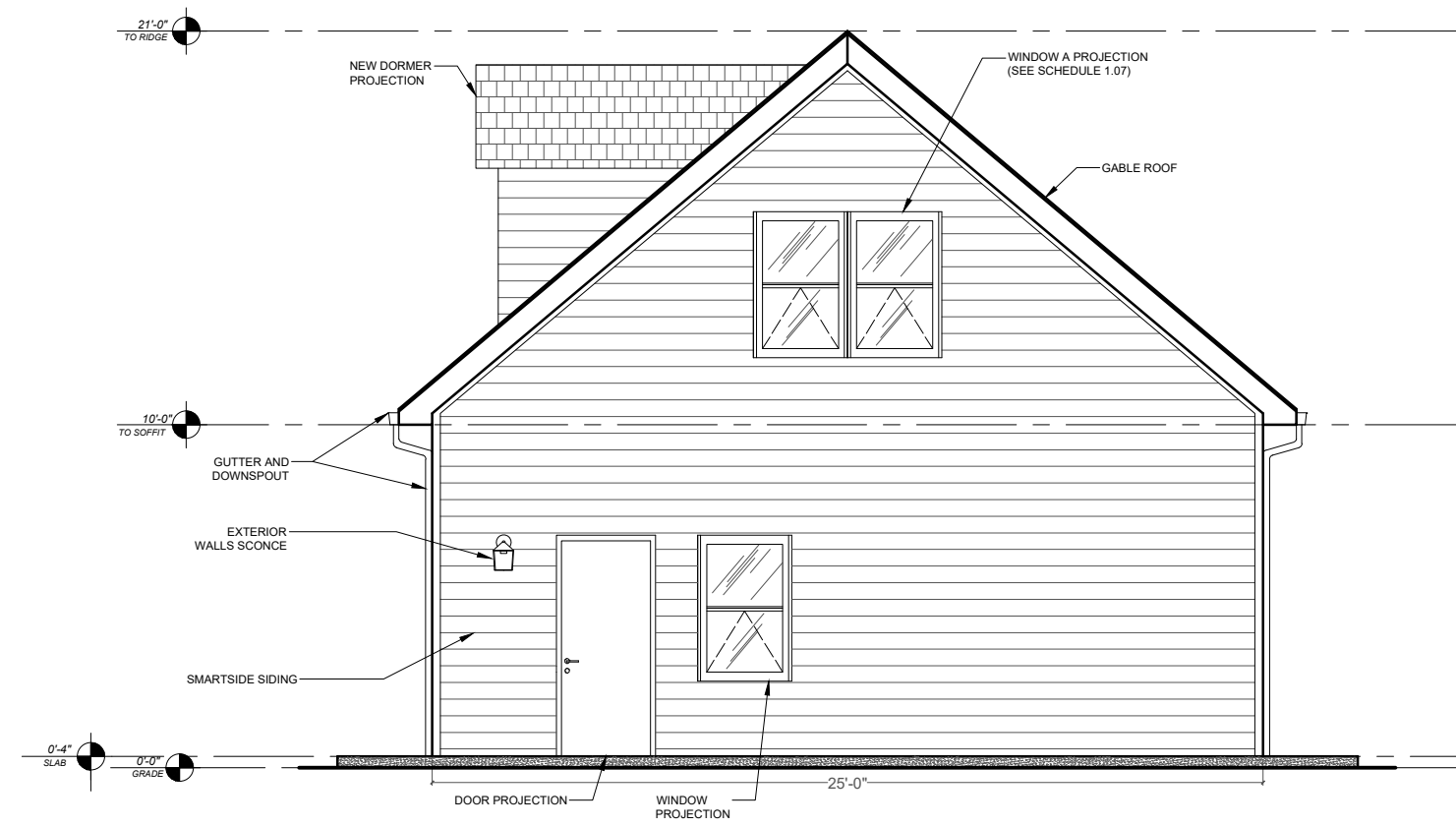
PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S.  
CONCORD, NC. 28205

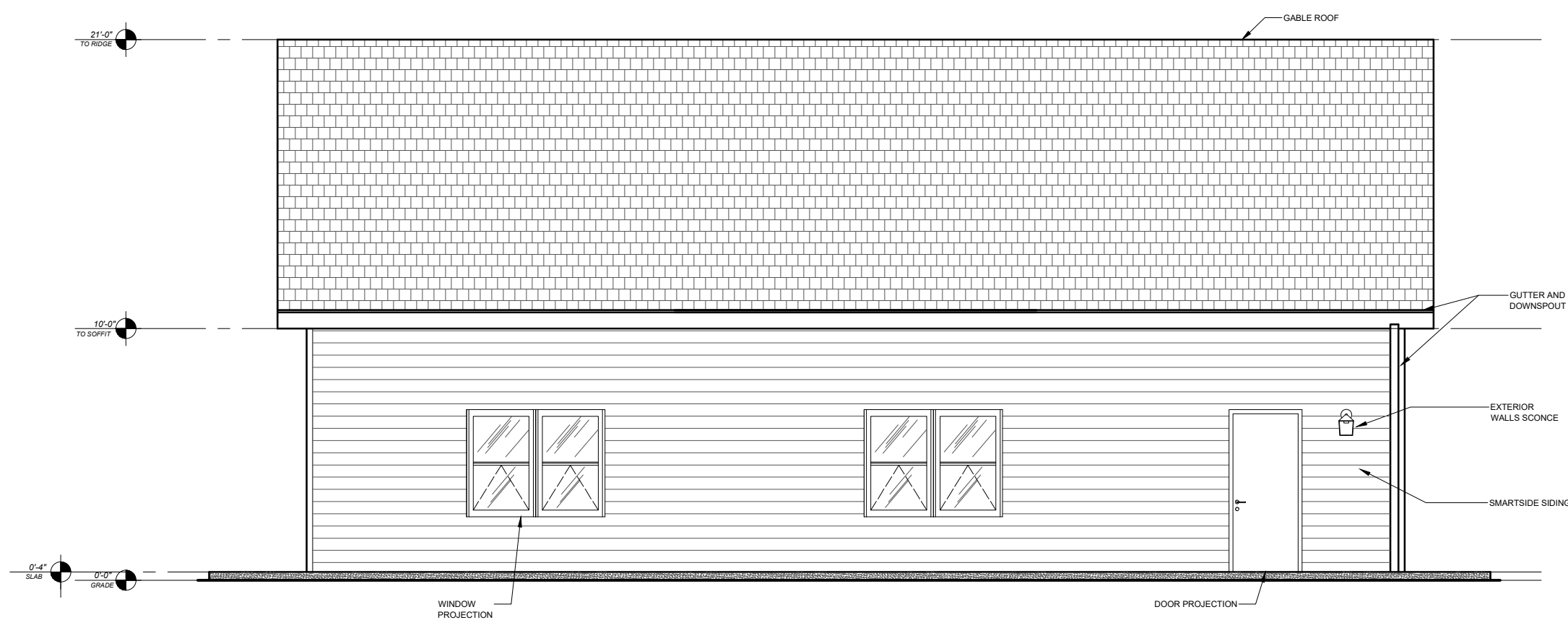
SHEET TITLE:  
- ELEVATIONS



GARAGE  
**ELEVATION A**  
SCALE: 1/8" = 1'-0"



GARAGE  
**ELEVATION B**  
SCALE: 1/8" = 1'-0"



GARAGE  
**ELEVATION C**  
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION
1	08/23/22	CONST. DRAWINGS COMPLETE

**SPECIFICATIONS:**

DATE DRAWN:  
- 10/26/2022  
SCALE:  
- 1/8" = 1'-0"

**DESIGN TEAM:**

DESIGNER:  
- BURUCA design LLC  
ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



# 1.03

PROJECT NAME:  
**SANG RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

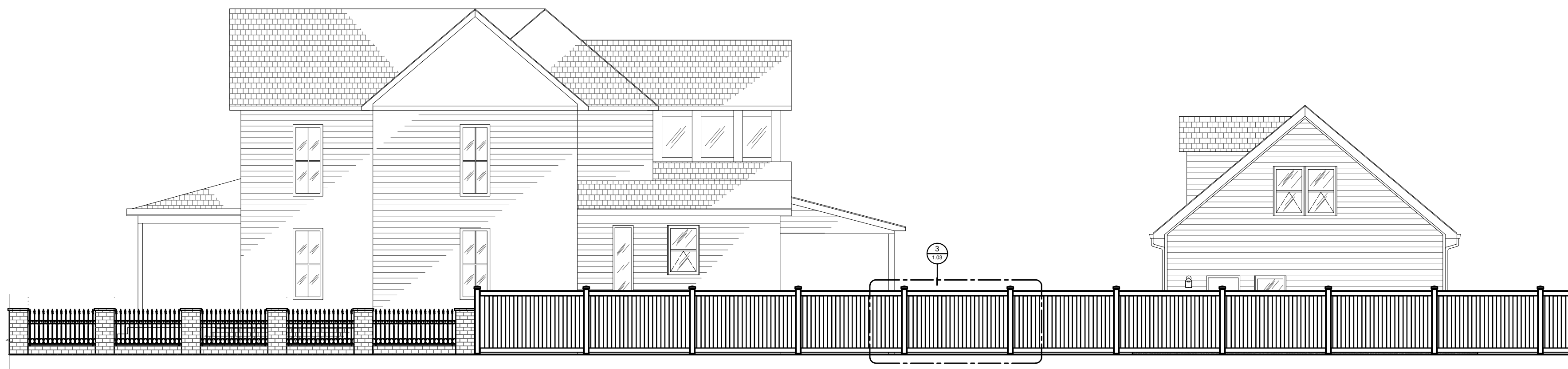
PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S.  
CONCORD, NC. 28205

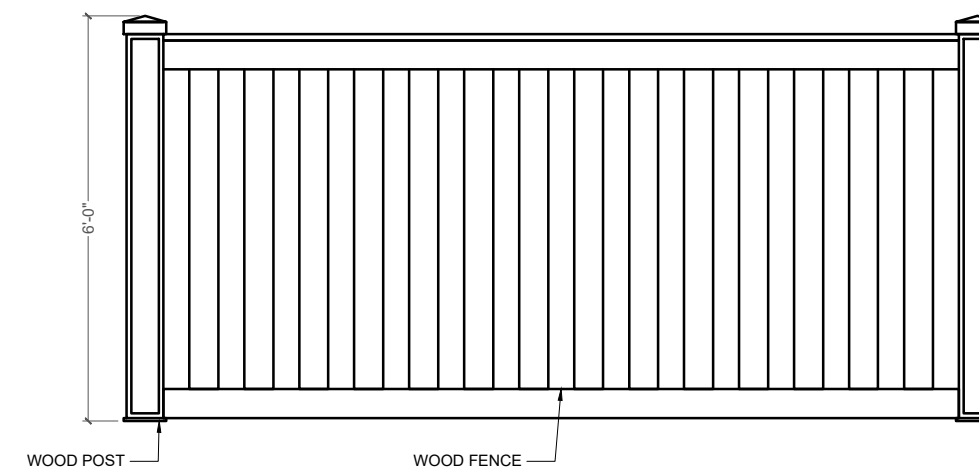
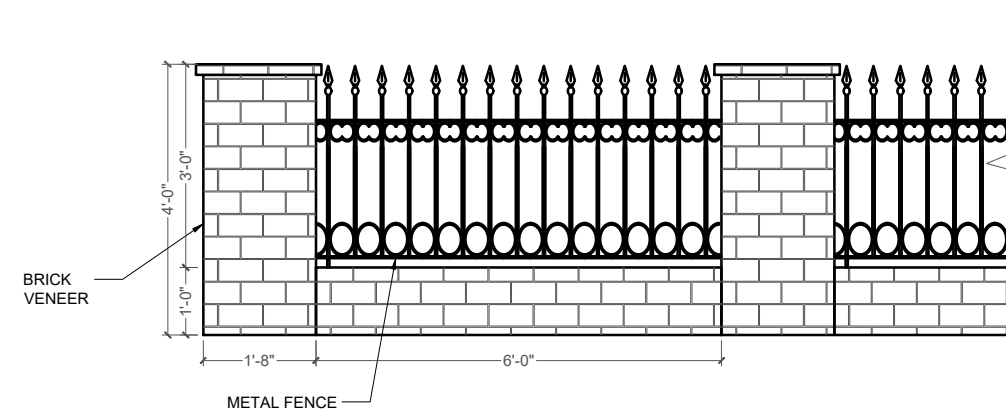
SHEET TITLE:  
- FENCE EXTERIOR  
ELEVATIONS  
- FENCE DETAILS



BRICK & METAL FENCE  
**EXTERIOR ELEVATION D**  
SCALE: 3/32" = 1'-0"



WOOD FENCE  
**EXTERIOR ELEVATION E**  
SCALE: 3/32" = 1'-0"



2  
1.03

**FENCE**  
N.T.S

3  
1.03

**FENCE**  
N.T.S

REV.	DATE	DESCRIPTION
1	08/23/22	JL CONST. DRAWINGS COMPLETE

**SPECIFICATIONS:**

DATE DRAWN:  
- 11/11/2022

SCALE:  
- 3/32" = 1'-0"

**DESIGN TEAM:**

DESIGNER:  
- BURUCA design LLC

ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



PROJECT NAME:  
**SANG  
RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S,  
CONCORD, NC. 28205

SHEET TITLE:  
- REFLECTED CEILING /  
ELECTRICAL PLAN

REV.	DATE	DESCRIPTION	JL
1	11/11/22	CONST. DRAWINGS COMPLETE	

**SPECIFICATIONS:**

DATE DRAWN:  
- 11/11/2022  
SCALE:  
- N.T.S

**DESIGN TEAM:**

DESIGNER:  
- BURUCA design LLC  
ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

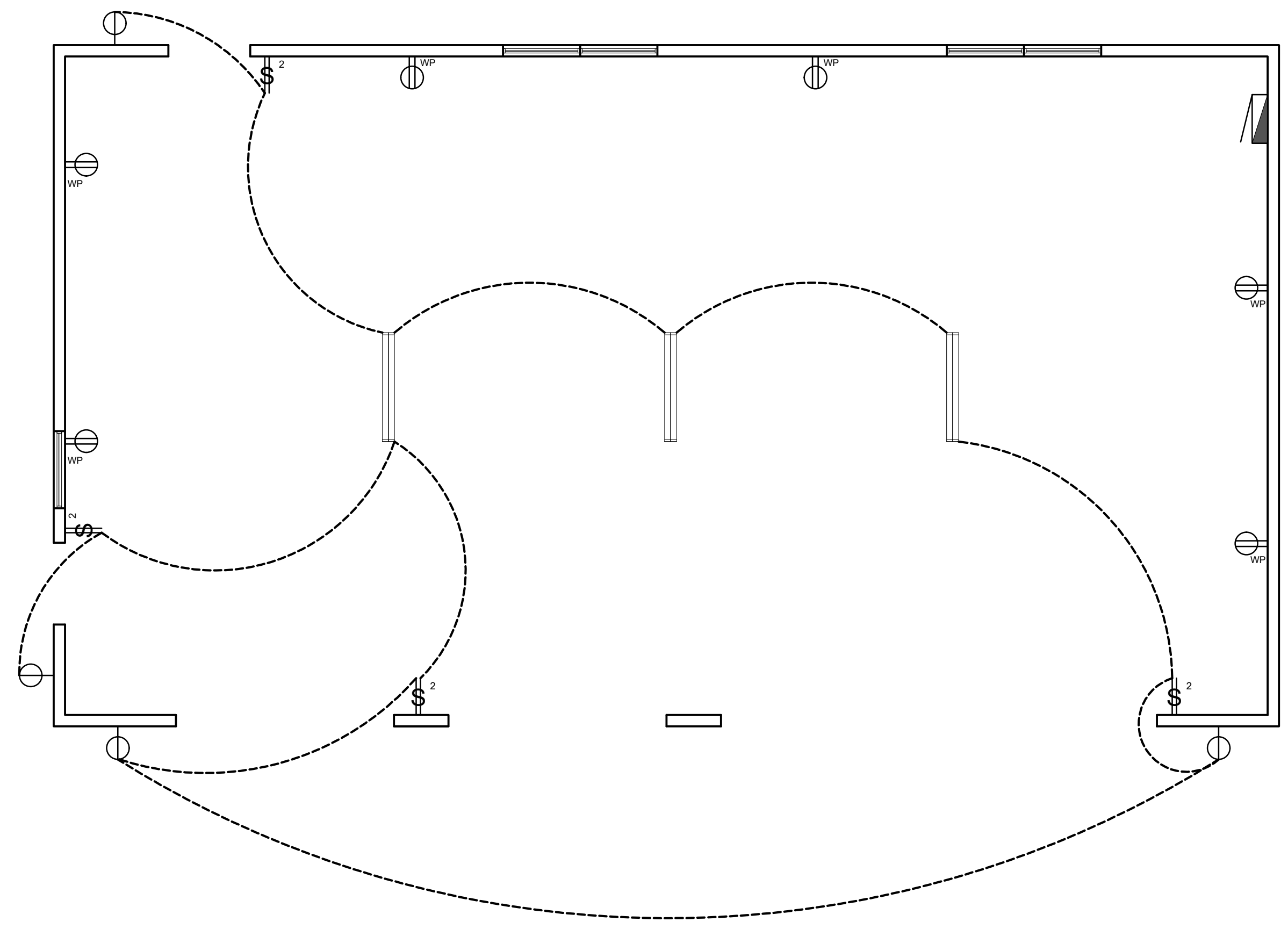


**RCP / ELECTRICAL SYMBOL LEGENDS**

- WP WALL PANEL MOUNTED DUPLEX OUTLET - WEATHER PROOF
- \$<sup>2</sup> DOUBLE SWITCH. TWO-WAY SWITCH
- ▩ EXISTING ELECTRICAL PANEL
- OUTDOOR SCONCE (DECK). TBD
- ≡ INDUSTRIAL LED WHITE STRIP LIGHT FIXTURE

**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND NUMBER OF ITEMS (OUTLETS, SWITCHES, HARDWARE) AND LIGHT FIXTURES PRIOR TO ORDERING AND/OR STARTING WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING ITEMS IN WORK AREA AND TO NOTIFY THE CLIENT REPRESENTATIVE OF ANY CONFLICTING CONDITIONS.
2. PROVIDE AND INSTALL (N) CEILING LIGHT FIXTURES ON PREP AREAS. ALL FIXTURES NEEDS TO BE INSTALLED @ h=8'-0" AFF.
3. CONTRACTOR TO INSTALL NEW ELECTRICAL PANEL. MAIN BREAKER SIZE: 200 AMP
4. ALL (N) OUTLETS SHALL TO BE INSTALLED 12" AFF. ALL DUPLEX OUTLETS AND ELECTRICAL DEVICES SHALL BE AUTO GROUND OR GROUND WIRE TO BACK OF BOX.
5. ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLTS, SINGLE PHASE, 5 AND 20 AMP OUTLETS INSTALLED IN ALL AREAS SHALL BE WITH AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
6. INSTALL PROTECTION PLATES OVER STUDS AND LUMBER AT ALL CONDUIT OR BOX PENETRATIONS.
7. PROVIDE PROPER GROUNDING POWER & SWITCHING TO ALL APPLIANCES, EQUIPMENT, FANS, LIGHTING.
8. INSTALL HARDWIRED SMOKE DETECTORS
9. PROVIDE GFCI OUTLETS IN BATHROOM AND EXTERIOR AREAS.
10. PROVIDE LIGHT SWITCHES FOR ALL ROOMS.
11. ALL ELECTRICAL EQUIPMENT AND BUILT-IN APPLIANCES SHALL HAVE A DISCONNECT MEANS.
12. BATHROOM AND KITCHEN OUTLETS TO BE INSTALLED h=3'-9" A.F.F.

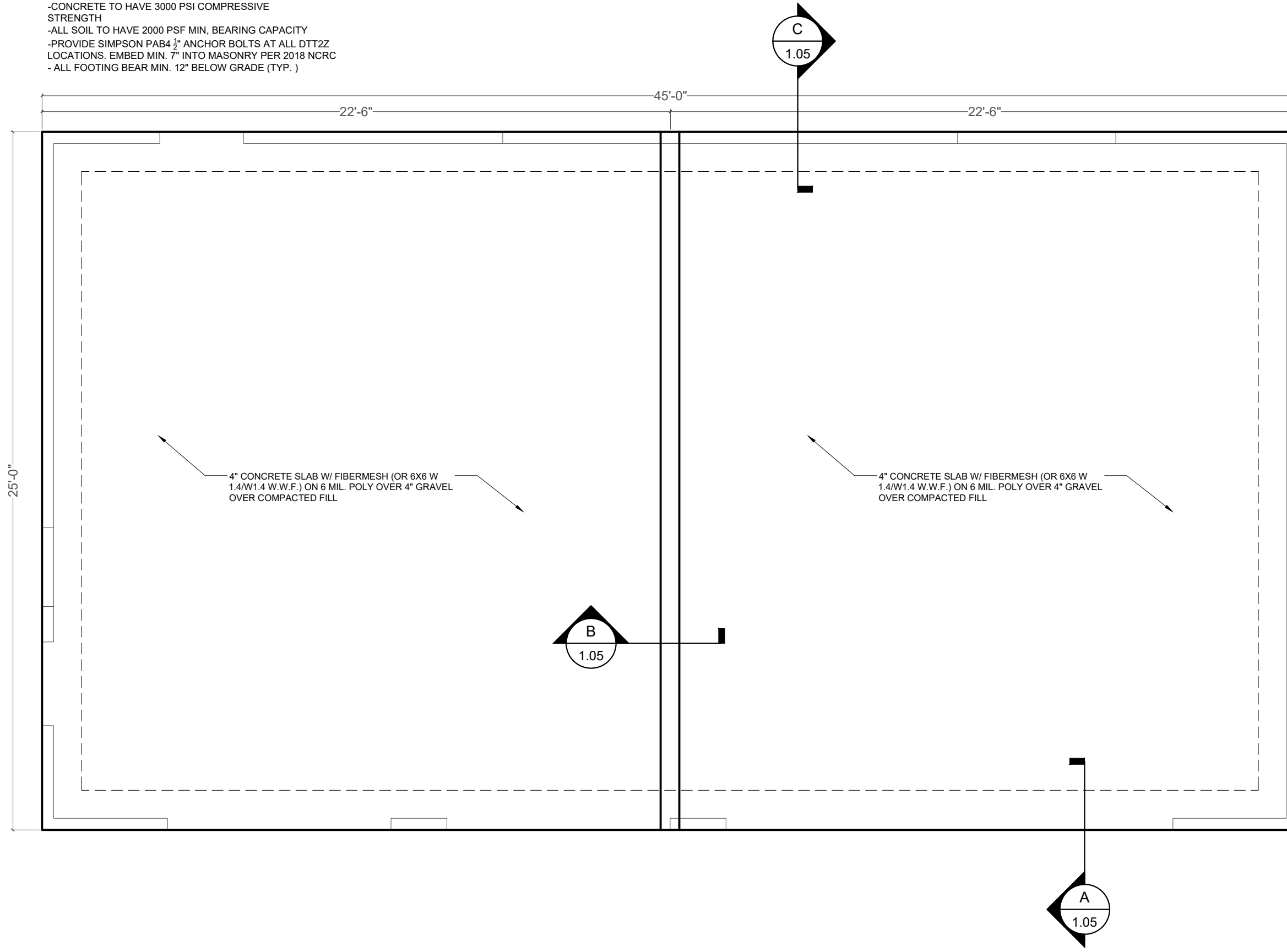


**REFLECTED CEILING / ELECTRICAL PLAN**

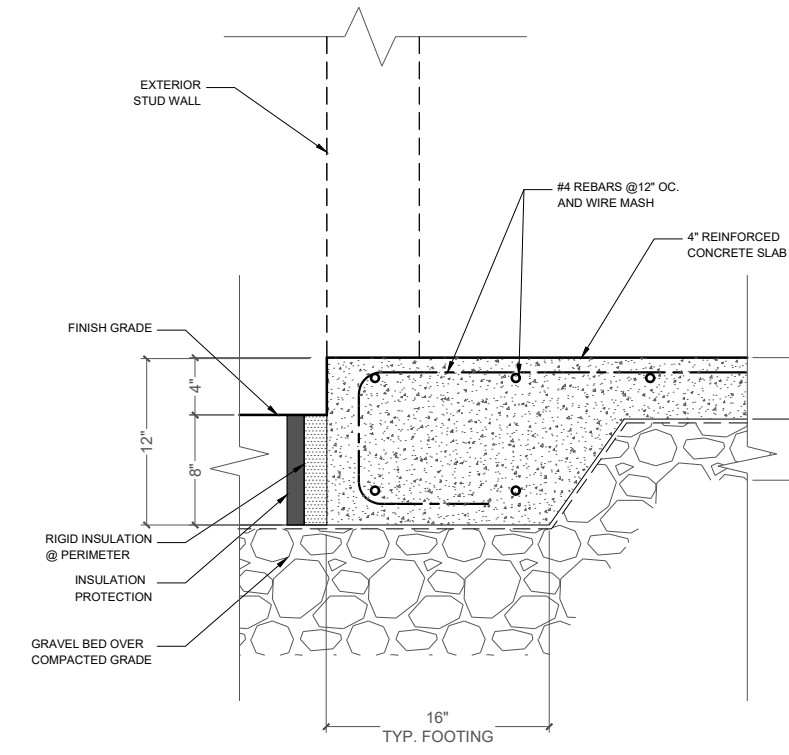
SCALE: 3/16" = 1'-0"



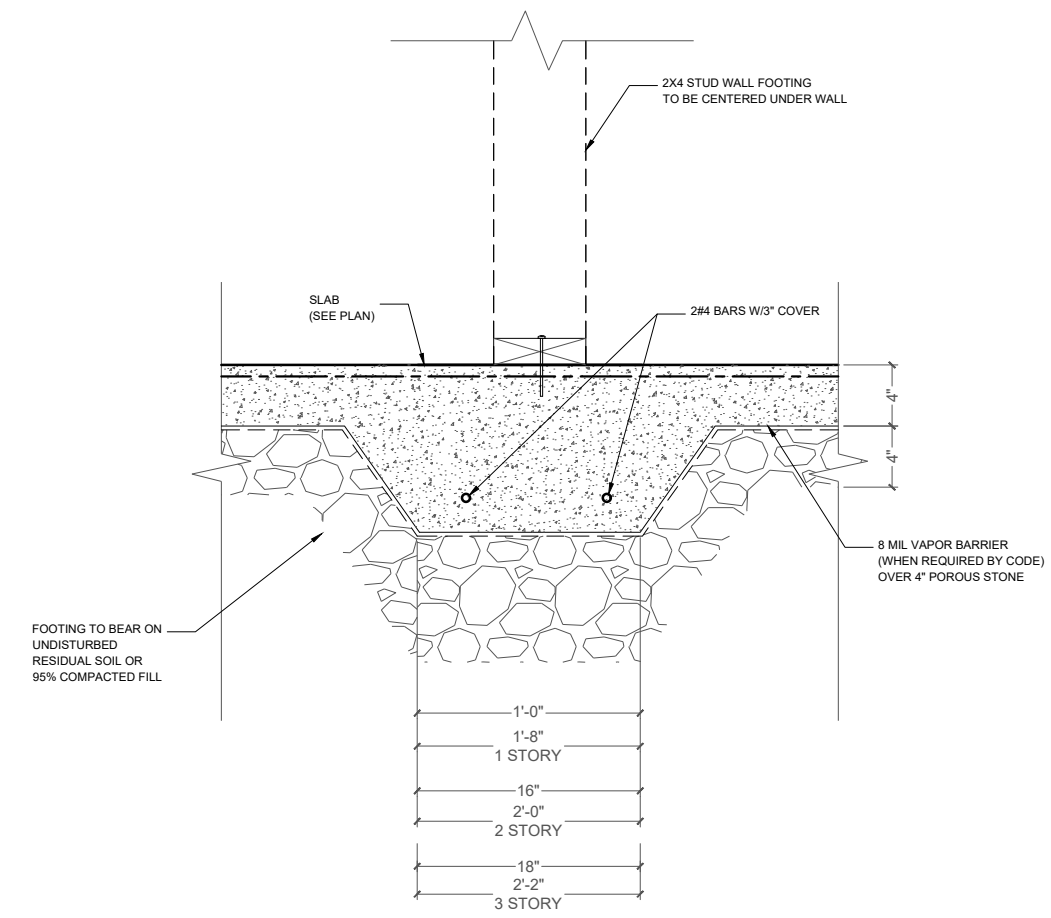
FOUNDATION NOTES:  
 -ALL DIMENSIONS SHALL BE VERIFIED AGAINST ARCHITECTURAL PLANS.  
 -CONCRETE TO HAVE 3000 PSI COMPRESSIVE STRENGTH  
 -ALL SOIL TO HAVE 2000 PSF MIN. BEARING CAPACITY  
 -PROVIDE SIMPSON PAB4 3/4" ANCHOR BOLTS AT ALL DTT2Z LOCATIONS. EMBED MIN. 7" INTO MASONRY PER 2018 NCRC  
 -ALL FOOTING BEAR MIN. 12" BELOW GRADE (TYP.)



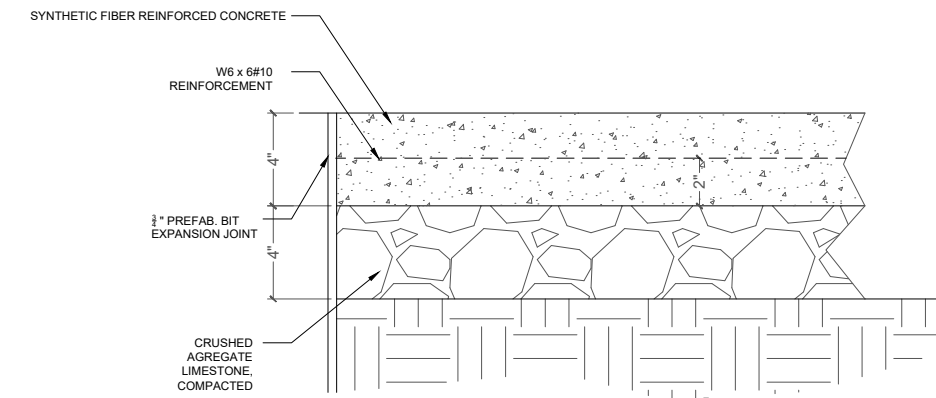
**FOUNDATION PLAN**  
 SCALE: 3/16" = 1'-0"



**A** CONCRETE SLAB FOOTING SECTION  
 1/8" N.T.S.



**B** THICKENED SLAB DETAIL  
 1/8" N.T.S.



**C** THICKENED SLAB DETAIL  
 1/8" N.T.S.

SHEET:

**1.05**

PROJECT NAME:  
**SANG RESIDENCE**  
 PROJECT OWNER:  
 - JOHN SANG  
 PROJECT ADDRESS:  
 - 71 FRANKLIN ST.  
 CONCORD, NC. 28205  
 GOVERNMENT AGENCY:  
 - 65 CHURCH ST. S,  
 CONCORD, NC. 28205  
 SHEET TITLE:  
 - FOUNDATION PLAN  
 - CONSTRUCTION DETAILS

REV.	DATE	DESCRIPTION	JL
1	11/11/22	CONST. DRAWINGS COMPLETE	

**SPECIFICATIONS:**

DATE DRAWN:  
 - 11/11/2022  
 SCALE:  
 - 3/16" = 1'-0"

**DESIGN TEAM:**

DESIGNER:  
 - BURUCA design LLC  
 ARCHITECTURAL DESIGNER:  
 - JOSE LUNA  
 - 414.573.9496  
 - jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

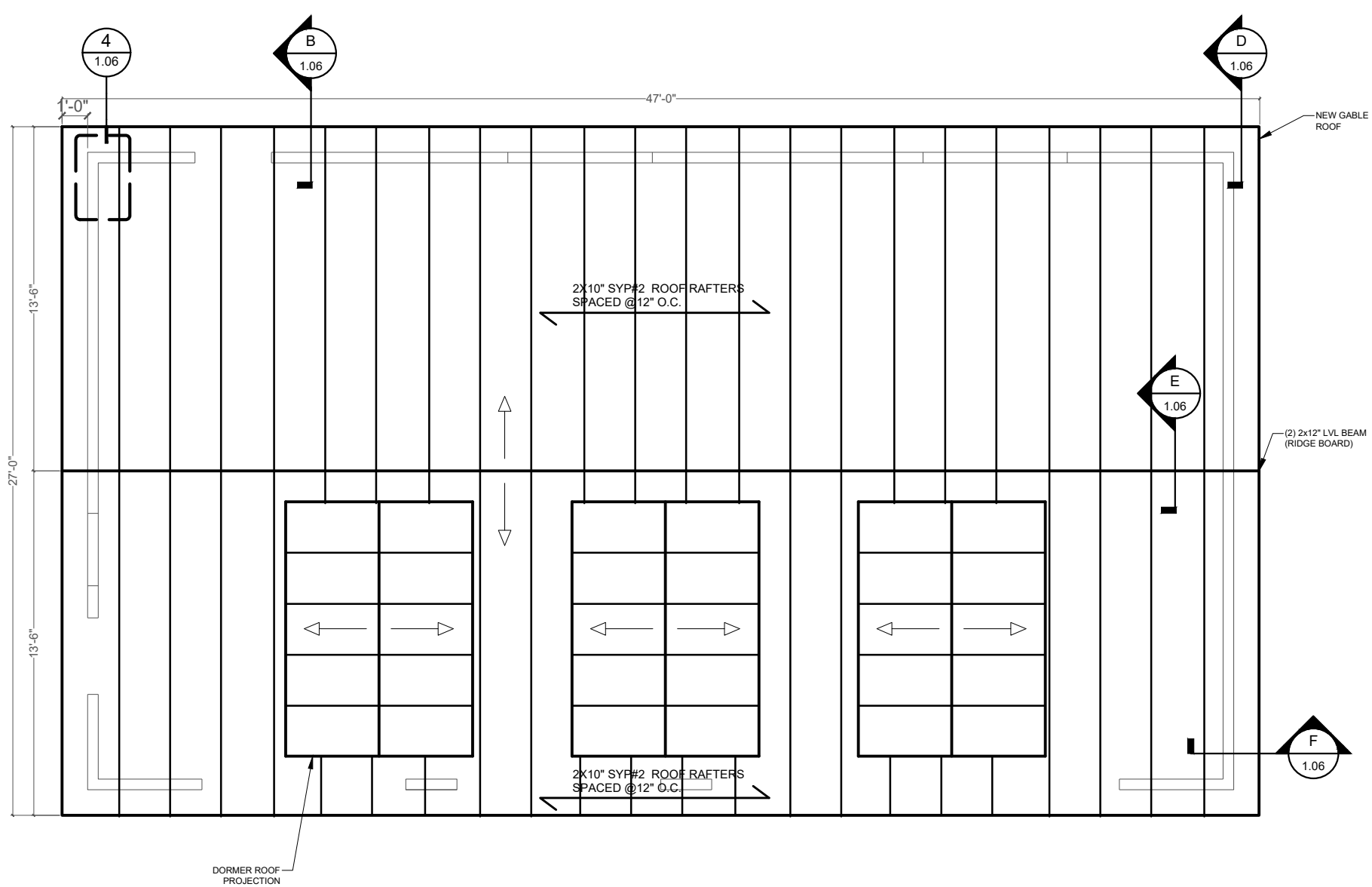
PROJECT NAME:  
**SANG RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

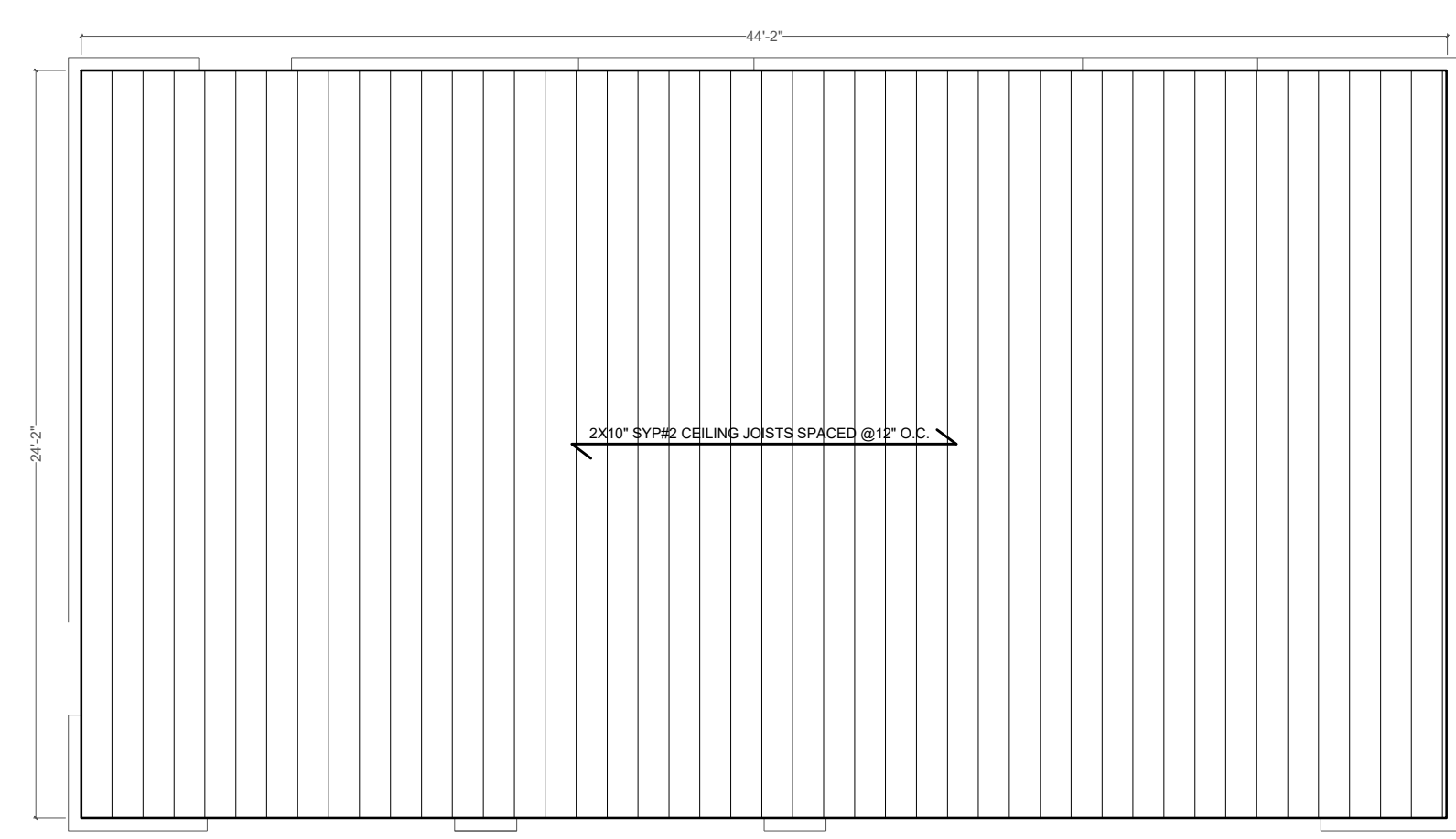
PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S.  
CONCORD, NC. 28205

SHEET TITLE:  
- ROOF FRAMING PLAN  
- CEILING FRAMING PLAN  
- CONSTRUCTION DETAILS



**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**CEILING FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION
1	11/11/22	CONST. DRAWINGS COMPLETE

**SPECIFICATIONS:**

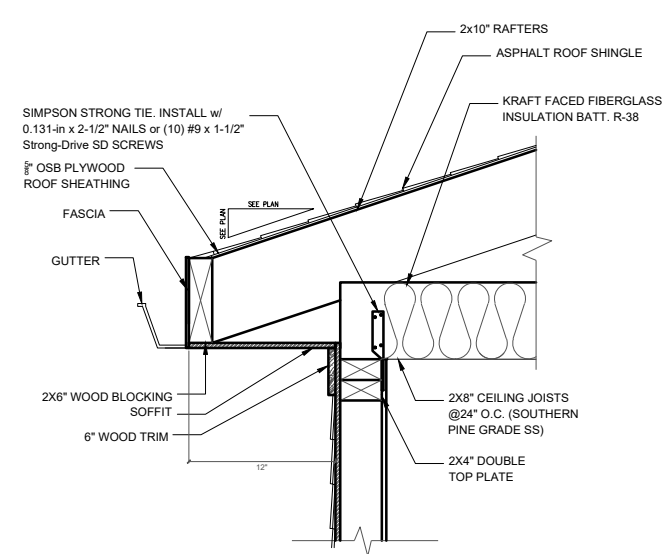
DATE DRAWN:  
- 11/11/2022

SCALE:  
- 1/8" = 1'-0"

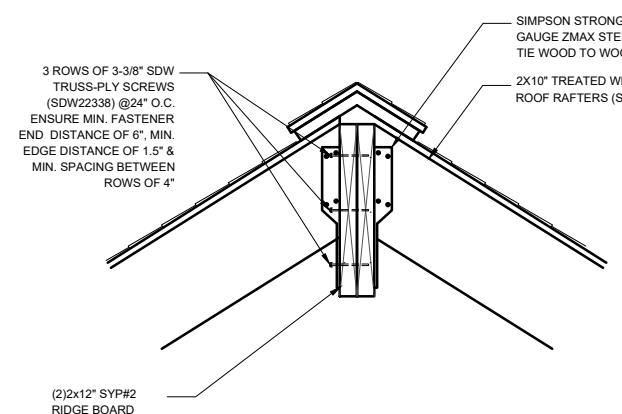
**DESIGN TEAM:**

DESIGNER:  
- BURUCA design LLC

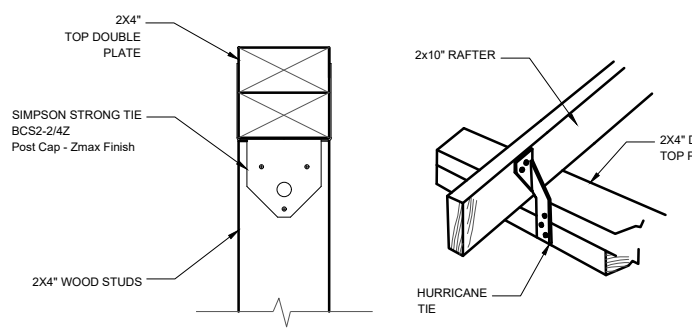
ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com



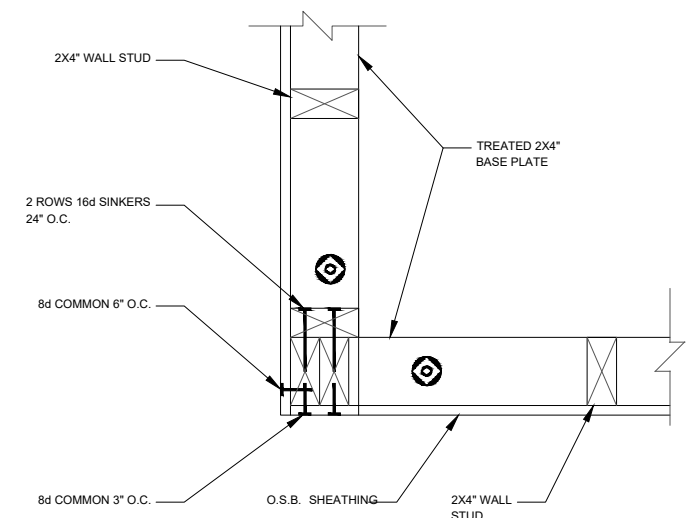
**D** SOFFIT, RAFTER TO WALL CONNECTION  
1/8" N.T.S.



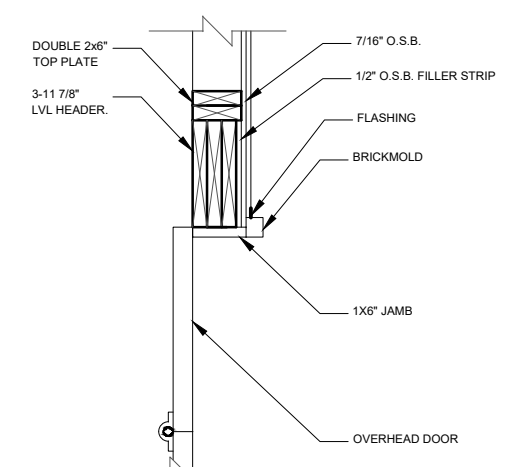
**E** RIDGE TO RAFTER CONNECTION DETAIL  
1/8" N.T.S.



**F** HEADER TO WALL CONNECTION  
1/8" N.T.S.



**4** TYP. CORNERS FRAMING DETAIL  
1/8" N.T.S.



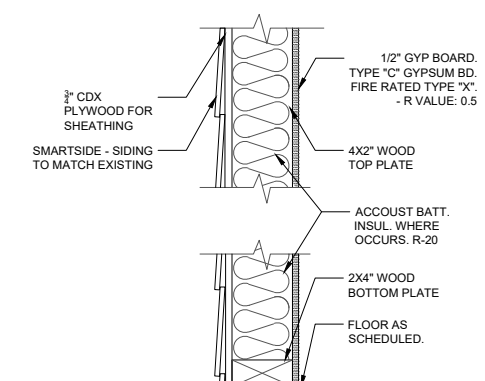
**B** SECTION THRU OHD HEADER  
1/8" N.T.S.

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



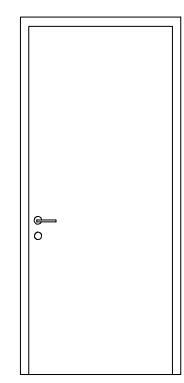
BRACED WALL PANEL SCHEDULE (TABLE R602.10.1 2018 NC RESIDENTIAL CODE)				
METHOD	PANEL TYPE	LOCATION	DESCRIPTION	FASTENERS
PORTAL FRAME (PF)	7/16" OSB	GARAGE DOOR	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	6D OR 8D COMMON NAILS IN 3" PATTERN GRID AS SHOWN ON PLANS
CS-WSP (WOOD STRUCTURAL PANLE)	7/16" OSB	EXTERIOR WALLS	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	6d COMMON NAILS, OR 1.25" LONG TYPE DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS
GB	1/2" GYPSUM BD.	INTERIOR PARTITION	INTERMITTENT GYPSUM BOARD INSTALLED ON BOTH SIDES OF WALL	6d COMMON NAILS, OR 1.25" LONG TYPE DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS

DOOR SCHEDULE								
DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR THICKNESS	FRAME MATERIAL	HARDWARE GROUP	FIRE RATED	REMARKS
1	3'-0" x 6'-8"	A	SOLID CORE WOOD, PAINT GRADE	1-3/4"	SOLID WOOD	1	20 MIN.	
GROUP #1								
3 HINGES								
1 DOOR STOP								
1 CLOSER								
1 LOCKSET								



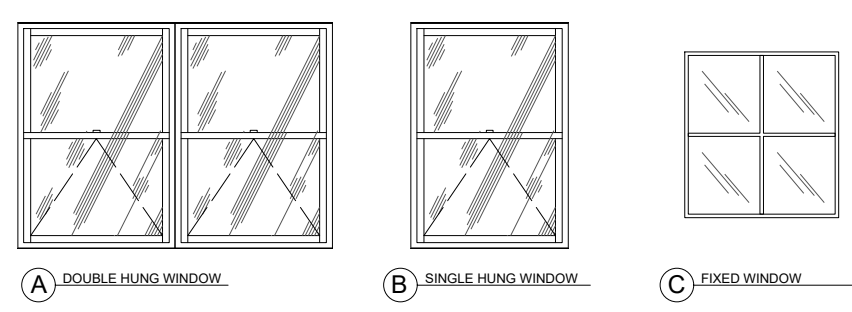
WALL HEIGHT: 8'-6"

5 TYP. EXTERIOR STUD WALL DETAIL N.T.S.



A SC DOOR TYPE 01

WINDOW SCHEDULE						
WINDOW ID.	WINDOW SIZE	SILL HEIGHT	WINDOW TYPE	FRAME MATERIAL	U-FACTOR	REMARKS
A	5'-8"x4'-4"	2'-3"	A	ALUMINUM/ POWDER COATED	0.20	
B	2'-10"x4'-4"	2'-3"	B	ALUMINUM/ POWDER COATED	0.20	
C	3'-10"x4'-0"	0'-8"	C	ALUMINUM/ POWDER COATED	0.20	



PROJECT NAME:  
**SANG RESIDENCE**

PROJECT OWNER:  
- JOHN SANG

PROJECT ADDRESS:  
- 71 FRANKLIN ST.  
CONCORD, NC. 28205

GOVERNMENT AGENCY:  
- 65 CHURCH ST. S,  
CONCORD, NC. 28205

SHEET TITLE:  
- SCHEDULE  
- WALL FRAMING DETAIL  
- CONSTRUCTION DETAIL

DESCRIPTION	DATE	REV.
JL		
CONST. DRAWINGS COMPLETE	11/11/22	1

**SPECIFICATIONS:**

DATE DRAWN:  
- 11/11/2022

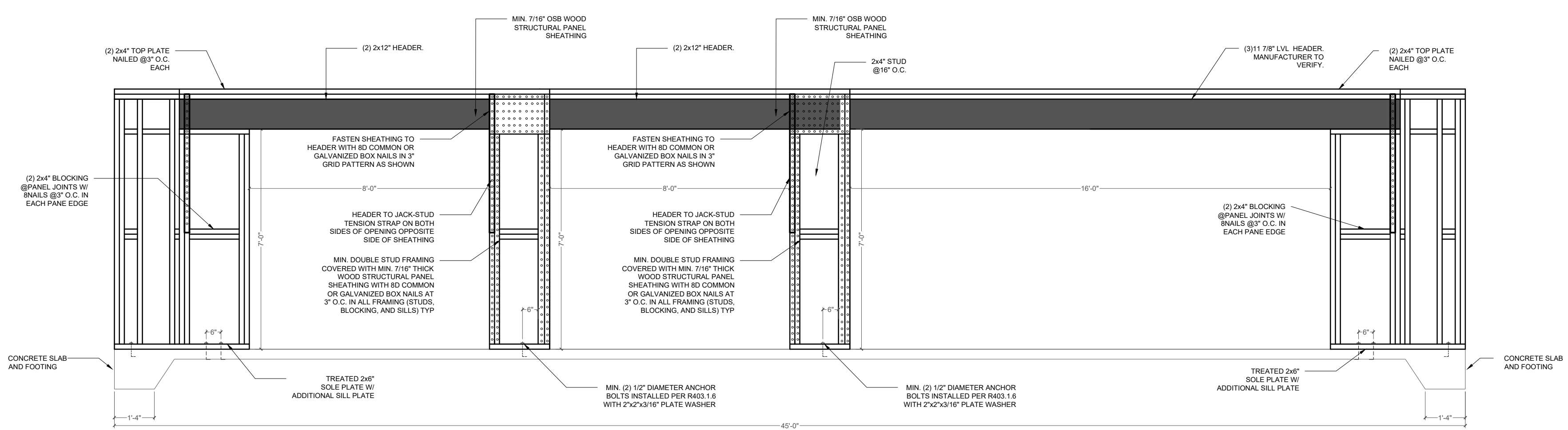
SCALE:  
- N.T.S.

**DESIGN TEAM:**

DESIGNER:  
- BURUCA design LLC

ARCHITECTURAL DESIGNER:  
- JOSE LUNA  
- 414.573.9496  
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



**GARAGE DOOR FRAMING DETAIL**  
SCALE: 1/4" = 1'-0"



